

CBM AGGREGATES

HERITAGE IMPACT ASSESSMENT

18501 MISSISSAUGA ROAD, TOWN OF CALEDON,
REGIONAL MUNICIPALITY OF PEEL, ONTARIO

ORIGINAL REPORT DATE: JULY 28, 2023
UPDATED REPORT DATE: SEPTEMBER 18, 2025
SECOND UPDATED REPORT DATE: FEBRUARY 26, 2026





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WSP

WSP.COM

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July 28, 2023 (Original Report)
September 18, 2025 (Updated Report)
February 26, 2026 (Updated Report)
Date

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July 28, 2023 (Original Report)
September 18, 2025 (Updated Report)
February 26, 2026 (Updated Report)
Date

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July 28, 2023 (Original Report)
September 18, 2025 (Updated Report)
February 26, 2026 (Updated Report)
Date

¹ Approval of this document is an administrative function indicating readiness for release and does not impart legal liability on to the Approver for any technical content contained herein. Technical accuracy and fit-for-purpose of this content is obtained through the review process. The Approver shall ensure the applicable review process has occurred prior to signing the document.

² Approval of this document is an administrative function indicating readiness for release and does not impart legal liability on to the Approver for any technical content contained herein. Technical accuracy and fit-for-purpose of this content is obtained through the review process. The Approver shall ensure the applicable review process has occurred prior to signing the document.

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WSP

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ABBREVIATIONS

BHR	Built Heritage Resource
CHER	Cultural Heritage Evaluation Report
CHIS	Cultural Heritage Impact Statement
CHL	Cultural Heritage Landscape
CHVI	Cultural Heritage Value or Interest
HCP	Heritage Conservation Plan
HIA	Heritage Impact Assessment
MCM	Ministry of Citizenship and Multiculturalism
OHA	<i>Ontario Heritage Act</i>
PHP	Provincial Heritage Property
PPS	Provincial Planning Statement
SCHVI	Statement of Cultural Heritage Value or Interest

GLOSSARY

UPDATE (September 2025): Note that Glossary definitions relating to the Provincial Planning Statement (originally Provincial Policy Statement 2020, now 2024) have been updated for this Updated Report (2025) to reflect changes in policy since the original HIA submission (2023).

Adjacent lands	Those lands contiguous to a protected heritage property or as otherwise defined in the municipal official plan (PPS 2024).
Built Heritage Resource:	Means a building, structure, monument, installation or any manufactured or constructed part or remnant that contributes to a property's cultural heritage value or interest as identified by a community, including an Indigenous community (PPS 2024).
Conserved:	Means the identification, protection, management and use of built heritage resources, cultural heritage landscapes and archaeological resources in a manner that ensures their cultural heritage value or interest is retained. This may be achieved by the implementation of recommendations set out in a conservation plan, archaeological assessment, and/or heritage impact assessment that has been approved, accepted or adopted by the relevant planning authority and/or decision maker. Mitigative measures and/or alternative development approaches can be included in these plans and assessments (PPS 2024).
Cultural Heritage Landscape:	Means a defined geographical area that may have been modified by human activity and is identified as having cultural heritage value or interest by a community, including an Indigenous community. The area may include features such as buildings, structures, spaces, views, archaeological sites or natural elements that are valued together for their interrelationship, meaning or association (PPS 2024).
Heritage Attributes:	Means, as defined under the Ontario Heritage Act, in relation to real property, and to the buildings and structures on the real property, the attributes of the property, buildings and structures that contribute to their cultural heritage value or interest (PPS 2024).
Protected Heritage Property:	Means property designated under Part IV or VI of the Ontario Heritage Act; property included in an area designated as a heritage conservation district under Part V of the Ontario Heritage Act; property subject to a heritage conservation easement or covenant under Part II or IV of the Ontario Heritage Act; property identified by a provincial ministry or a prescribed public body as a property having cultural heritage value or interest under the Standards and Guidelines for the Conservation of Provincial Heritage Properties; property protected under federal heritage legislation; and UNESCO World Heritage Sites (PPS 2024).
Significant:	Means in regard to cultural heritage and archaeology, resources that have been determined to have cultural heritage value or interest. Processes and criteria for determining cultural heritage value or interest are established by the Province under the authority of the Ontario Heritage Act (PPS 2024).

UPDATES

UPDATE NO. 1 (SEPTEMBER 2025)

This report has been produced to update the original submission made in July 2023. Specifically, updates to the July 2023 report include:

- 1 Revisions made in response to comments received from Heritage Planning staff at the Town of Caledon dated March 18, 2025.*
- 2 Updates made to address new relevant provincial policies and regulatory frameworks.*
- 3 Updates to address changes in the status of the subject property, namely the Town's issuance of a Notice of Intention to Designate (NOID) on March 12, 2024 and the subsequent work and monthly discussions, since June 2024, that have occurred with Heritage Planning staff following the issuance of the NOID.*

UPDATE NO. 2 (FEBRUARY 2026)

This report has been produced to update the submission made in September 2025. Specifically, updates to the September 2025 report include:

- 1 Revisions made in response to comments received from Heritage Planning staff at the Town of Caledon dated December 21, 2025.*
- 2 Recommendation #11 has been added to guide heritage conservation recommendations that must be included on the ARA Site Plan Technical Recommendations.*

Where updates have been made to the original 2023 HIA, this is indicated with an emphasis box, as modelled here. Editorial updates in response to Town of Caledon comments are identified in Appendix D.

EXECUTIVE SUMMARY

WSP Environment & Infrastructure Canada Limited (WSP) was retained by CBM Aggregates (CBM), a division of St. Marys Cement Inc. (Canada), to complete a Heritage Impact Assessment (HIA) for 18501 Mississauga Road in the Town of Caledon, Regional Municipality of Peel, Ontario (the Study Area). The Study Area is a rectangular-shaped, 20-hectare (50-acre) property located at the north corner of Mississauga Road and Charleston Sideroad. Within the Study Area is a one-and-a-half storey vernacular style residence constructed for John Cameron between 1836 and 1848. The Town of Caledon issued a Notice of Intention to Designate (NOID) for the Study Area under Part IV of the *Ontario Heritage Act* on March 12, 2024. The Study Area is not identified as a Cultural Heritage Landscape in the Town's Cultural Heritage Landscape Inventory (Scheinman 2009).

CBM proposes to develop the Study Area as part of the 261.2-hectare CBM Caledon Pit / Quarry site licensed under the *Aggregate Resources Act* and designated or zoned under the *Planning Act* (the Project). A Cultural Heritage Existing Conditions and Preliminary Impact Assessment (Cultural Heritage Report) completed for the Project determined that the Study Area may meet the criteria prescribed in Ontario Regulation 9/06 (O. Reg. 9/06, amended through O. Reg. 569/22) of the *Ontario Heritage Act* and recommended an HIA to address the Project's potential impacts to the Study Area's potential heritage attributes (WSP 2022).

The preparation of this HIA was guided by the Town's *Terms of Reference for Heritage Impact Assessment* (Town of Caledon 2019) and Ministry of Citizenship and Multiculturalism (MCM) *Ontario Heritage Tool Kit InfoSheet #5* and *Heritage Property Evaluation: A Guide to Listing, Researching, and Evaluating Cultural Heritage Property in Ontario Communities* (2006a). The HIA was also informed by guidance provide in the MCM *Standards & Guidelines for Conservation of Provincial Heritage Properties: Heritage Identification and Evaluation Process* (MCM 2014) and Canada's *Historic Places Standards and Guidelines for the Conservation of Historic Places in Canada* (Canada's Historic Places 2010).

An evaluation of the Study Area for this HIA determined that the Study Area has CHVI because it meets three criteria prescribed in O. Reg 9/06 of the *Ontario Heritage Act* (1, 7, and 8). The Study Area's CHVI is principally linked to its farmhouse, which has physical value as a rare surviving example of an early 19th century vernacular style farmhouse and contextual value for its physical and historical connections to its surroundings. The Study Area was found to be important in defining, maintaining, and supporting the agricultural and rural character of the area.

An impact assessment of the proposed work determined that the Study Area will be subject to both direct and indirect negative impacts. To avoid or reduce these effects, WSP recommends to:

- **Relocate the farmhouse within the existing property parcel and complete documentation and salvage for the remaining landscape and outbuilding components.**

UPDATE No.1 (September 2025): *The following recommendations have been updated to respond to comments received from Town of Caledon Heritage Planning staff, regulatory updates, and project progression since the July 2023 submission. In particular, the status of the property's designation process under Part IV of the Ontario Heritage Act, the preparation of a Draft Reference Plan to delineate limits of heritage attributes, and the proposed details and timing of conservation measures have been updated and included to reflect monthly meetings with the Town, ongoing since June 2024, and comments received on the July 2023 submission on March 18, 2025.*

UPDATE No.2 (February 2026): *As part of the updated report submission, recommendation #11 has been added to guide heritage conservation recommendations that must be included on the ARA Site Plan Technical Recommendations..*

To achieve the proposed conservation strategy, WSP recommends the following:

- 1 If the property is vacated before the site-specific mitigation measures are implemented, a qualified specialist shall develop a mothball plan for the farmhouse, with a maintenance and inspection schedule, to conserve the structure until further action is implemented.
- 2 Short-term conservation actions, while relocation plans are designed:
 - a Enact site plan control and communication and erect a physical buffer around the property during adjacent mineral aggregate operation activities, prior to relocation, to reduce the risk of accidental damage from vehicles, heavy equipment operation, or other activities of the mineral aggregate operation. This construction buffer shall be demarcated with temporary fencing and clearly marked as a "no-go-zone" on construction drawings.
 - b Implement the recommendations of the blast impact assessment (WSP 2022b) to ensure the structural integrity of the farmhouse is maintained.
- 3 Vibration from construction and extraction activities will potentially impact the heritage attributes identified for this property. To avoid or reduce the risk of vibration resulting in adverse impact and ensure the structural integrity of the heritage attributes is maintained once the house is relocated, the vibration monitoring protocol developed by a qualified vibration specialist shall be implemented during the activities of the mineral aggregate operation. Should vibrations threshold be exceeded, work must cease and an assessment of next steps must be completed.
- 4 Fugitive dust impacts:
 - a The application has been designed to meet provincial blasting limits and air quality guidelines. CBM has conducted air quality monitoring in the vicinity of the site. Overall, the air quality is consistently below provincial guidelines, taking into account the existing aggregate operations and the existing truck traffic in the area. With the addition of the proposed CBM Caledon Pit / Quarry operations, including emissions from aggregate trucks accessing the site, the air quality is still predicted to be below provincial guidelines at surrounding residences.
 - b Implement the recommendations of the Air Quality Impact Assessment (WSP 2023), Best Management Practices Plan for the Control of Fugitive Dust (WSP 2025a), and Air Quality Monitoring Plan (WSP 2025b).
- 5 Conduct a Documentation Report and Salvage Plan for Cultural Heritage Resources for the barns and mature vegetation on the property.
- 6 A Structural Engineer should be consulted to confirm whether the farmhouse is structurally sound enough to withstand relocation.
- 7 Develop a Heritage Conservation Plan for the farmhouse to guide the relocation and rehabilitation efforts and outline how the heritage attributes of the structure will be conserved, protected, and enhanced during the rehabilitation program and into the future.
 - a *It is acknowledged as part of this updated report (September 2025) that the relocation of the farmhouse is contingent on an approved license application under the Aggregate Resources Act. Until a license is granted the farmhouse should not be relocated.*
- 8 Relocate the farmhouse to a new lot that retains the general geographic and visual setting of the structure and supports understanding of its cultural heritage value or interest as a rural farmhouse. Relocation must occur prior to the commencement of extraction activities, but only after a licence has been approved.
- 9 Rehabilitate the farmhouse for a compatible existing or new use.
- 10 As the evaluation of the farmhouse and its associated parcel determined that the property meets two or more criteria under the *Ontario Heritage Act*, it is eligible for designation under Part IV. Once relocation is complete, consider designating the farmhouse and its associated new parcel under Part IV of the *Ontario Heritage Act*.

a *It is acknowledged as part of this updated report (September 2025) that the Town has issued a NOID for the property. Accordingly, WSP has facilitated the development of a Draft Reference Plan (R-Plan) to guide the limits of the future Part IV Designation (Appendix E).*

11 Add the following notes to the ARA Site Plan Technical Recommendations to establish required conservation measures for 18501 Mississauga Road that shall be tracked by the Ministry of Natural Resources as part of the CBM Caledon Pit / Quarry site license:

In order to conserve the heritage attributes located at 18501 Mississauga Road the licensee shall:

1. Prior to extraction in Phase 5 relocate the farmhouse within the existing property parcel located outside of the license boundary and complete documentation and salvage for the remaining landscape and outbuilding components.
2. The following short-term conservation actions, shall be implemented prior to relocation of the farmhouse:
 - a) Prior to site preparation in Phase 5, the licensee shall erect fencing 50 m from the farmhouse to identify a 'no-go zone' to reduce the risk of accidental damage from vehicles, heavy equipment operation, or other activities of the mineral aggregate operation.
 - b) Implement the recommendations of the blast impact assessment to ensure the structural integrity of the farmhouse is maintained.
 - c) If the farmhouse is vacated prior to the relocation, a qualified specialist shall develop a mothball plan for the farmhouse, with a maintenance and inspection schedule, to conserve the structure until further action is implemented.
 - d) A Documentation Report and Salvage Plan for Cultural Heritage Resources shall be prepared for the barns and mature vegetation on the property. The Documentation Report and Salvage Plan shall be completed by a qualified cultural heritage specialist prior to the commencement of site preparation activities within Phase 5.
3. To conserve the farmhouse at its new location, the following mitigation measures shall be implemented:
 - a) The limit of extraction shall include a 50 m buffer from the farmhouse to protect the heritage attributes of the property.
 - b) Implement the recommendations of the blast impact assessment to ensure the structural integrity of the farmhouse is maintained.

Provided that the recommendations contained in this report are implemented, the applicable *Ontario Heritage Act*, *PPS 2024, Aggregate Resources Act*, and Regional and Municipal Official Plan policies related to built heritage are satisfied.



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1 INTRODUCTION

1.1 BACKGROUND

WSP Environment & Infrastructure Canada Limited (WSP) was retained by CBM Aggregates (CBM), a division of St. Marys Cement Inc. (Canada), to complete a Heritage Impact Assessment (HIA)³ for 18501 Mississauga Road in the Town of Caledon, Regional Municipality of Peel, Ontario (the Study Area) (Figure 1 and Figure 2). The Study Area is a rectangular-shaped, 20-hectare (50-acre) property located at the north corner of Mississauga Road and Charleston Sideroad. Within the Study Area is a one-and-a-half storey vernacular style residence constructed for John Cameron between 1836 and 1848, a 19th century gable-type Central Ontario style barn, a 20th century gambrel-type Central Ontario barn, and mature vegetation. Figure 10 identifies the location of built and landscape features within the Study Area. The Town of Caledon issued a Notice of Intention to Designate (NOID) for the Study Area under Part IV of the *Ontario Heritage Act* on March 12, 2024. The Study Area is not identified as a Cultural Heritage Landscape in the Town's Cultural Heritage Landscape Inventory (Scheinman 2009).

CBM proposes to develop the Study Area as part of the 261.2-hectare CBM Caledon Pit / Quarry site licensed under the *Aggregate Resources Act* and designated or zoned under the *Planning Act* (the Project). A Cultural Heritage Report: Existing Conditions and Preliminary Impact Assessment (Cultural Heritage Report) completed for the Project determined that the Study Area may meet the criteria prescribed in Ontario Regulation 9/06 (O. Reg. 9/06, amended through O. Reg. 569/22) of the *Ontario Heritage Act* and recommended a HIA to address the Project's potential impacts to the Study Area's potential heritage attributes (WSP 2022).

The preparation of this HIA was guided by the Town's *Terms of Reference for Heritage Impact Assessment* (Town of Caledon 2019) and Ministry of Citizenship and Multiculturalism (MCM) *Ontario Heritage Tool Kit InfoSheet #5* (2006b) and *Heritage Property Evaluation: A Guide to Listing, Researching, and Evaluating Cultural Heritage Property in Ontario Communities* (2006a). The HIA was also informed by guidance provide in the *MCM Standards & Guidelines for Conservation of Provincial Heritage Properties: Heritage Identification and Evaluation Process* (MCM 2014) and Canada's *Historic Places Standards and Guidelines for the Conservation of Historic Places in Canada* (Canada's Historic Places 2010).

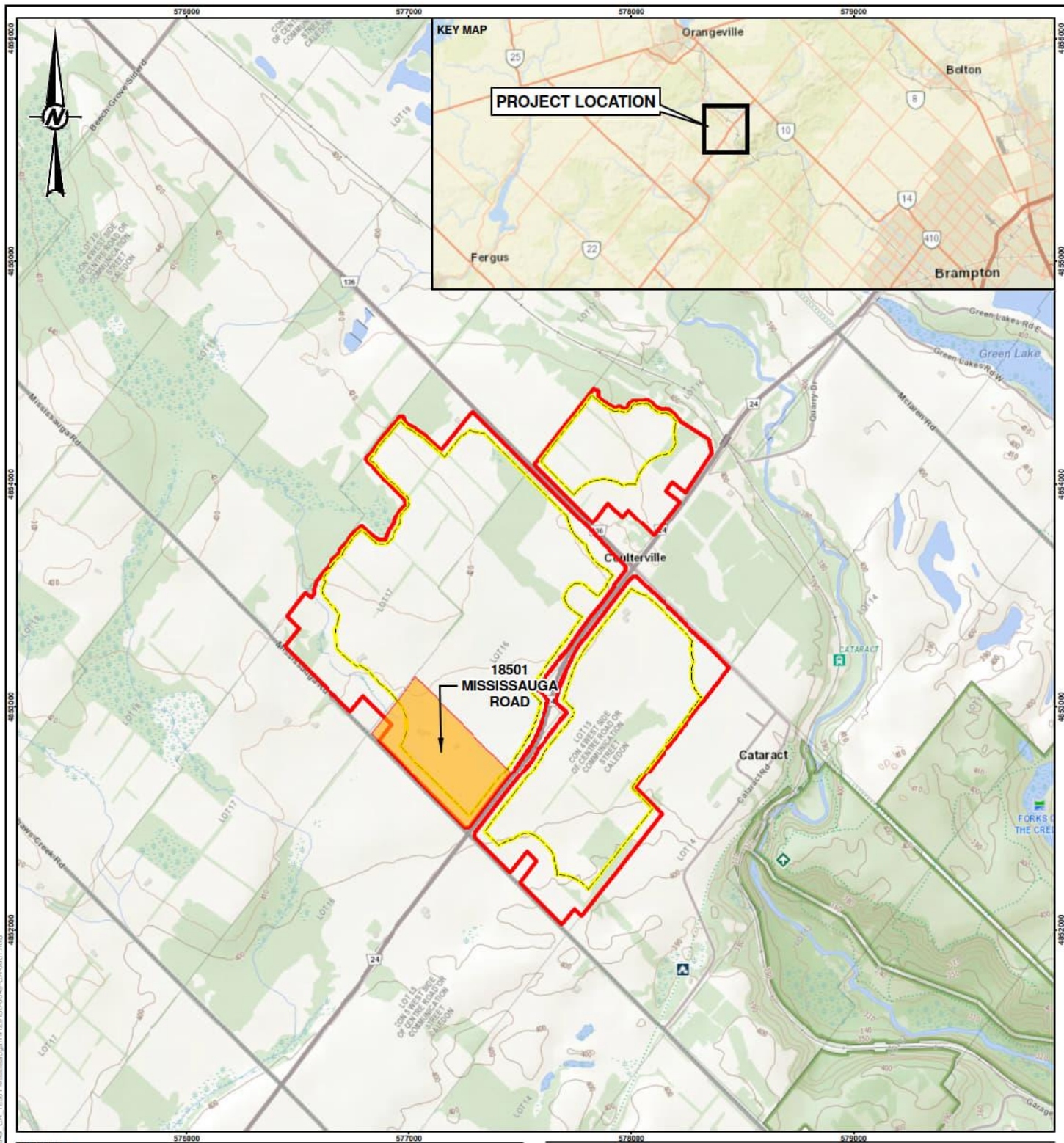
1.2 SCOPE

To complete this HIA, WSP:

- Undertook background research, including review of primary and secondary written sources and historical maps and aerial imagery, to trace the Study Area's history;
- Collected online data and contacted the Town of Caledon, Ontario Heritage Trust, and the MCM for information on the Study Area, such as its current heritage status;
- Analysed the results of the field investigation conducted for the Cultural Heritage Report to identify the Study Area's existing conditions, built heritage resources, cultural heritage landscape components, and heritage attributes;
- Evaluated the Study Area using the criteria prescribed in O.Reg. 9/06 (amended through O. Reg. 569/22) of the Ontario Heritage Act and drafted a statement of Statement of Cultural Heritage Value or Interest (SCHVI);

³ Although the Town of Caledon Official Plan refers to this type of study as a "Cultural Heritage Impact Statement," the Town's more recent Terms of Reference uses the term "Heritage Impact Assessment."

- Assessed the potential direct and indirect impacts from the Project on the CHVI and heritage attributes of the Study Area;
- Recommended mitigation measures and conservation strategies to avoid or reduce the negative impacts to the Study Area's CHVI and heritage attributes;
- Updates to the initial report to respond to Town of Caledon planning and heritage staff comments received March 18, 2025; and
- Updates to the September 2025 report to respond to Town of Caledon planning and heritage staff comments dated December 21, 2025.



LEGEND

- STUDY AREA
- LIMIT OF EXTRACTION
- LICENCE BOUNDARY



NOTE(S)

1. ALL LOCATIONS ARE APPROXIMATE

REFERENCE(S)

1. LIO TOPOGRAPHIC DATA CACHE, ONTARIO MINISTRY OF NATURAL RESOURCES AND FORESTRY. OPEN GOVERNMENT LICENCE – ONTARIO
2. SERVICE LAYER CREDITS: SOURCES: ESRI, HERE, GARMIN, USGS, INTERMAP, INCREMENT P, NRCAN, ESRI JAPAN, METI, ESRI CHINA (HONG KONG), ESRI KOREA, ESRI (THAILAND), NGCC, (C) OPENSTREETMAP CONTRIBUTORS, AND THE GIS USER COMMUNITY
3. PROJECTION: TRANSVERSE MERCATOR DATUM: NAD 83 COORDINATE SYSTEM: UTM ZONE 17 VERTICAL DATUM: CGVD28

CLIENT

CBM AGGREGATES, A DIVISION OF ST. MARYS CEMENT INC. (CANADA)

PROJECT

CULTURAL HERITAGE IMPACT STATEMENT, 18501 MISSISSAUGA, TOWN OF CALEDON, REGIONAL MUNICIPALITY OF PEEL, ONTARIO

TITLE

LOCATION OF STUDY AREA

CONSULTANT



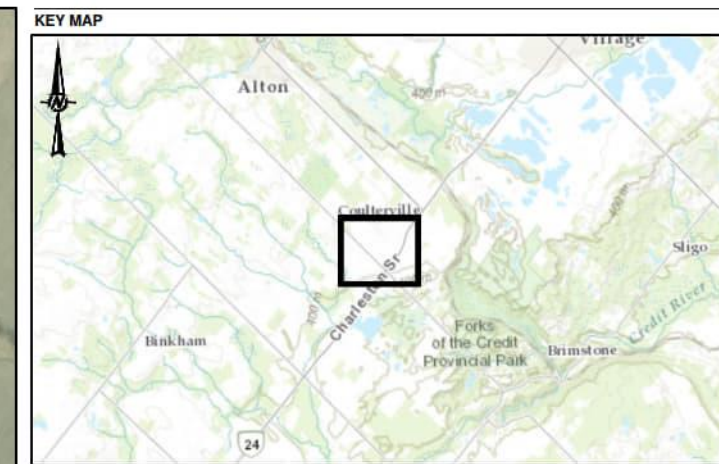
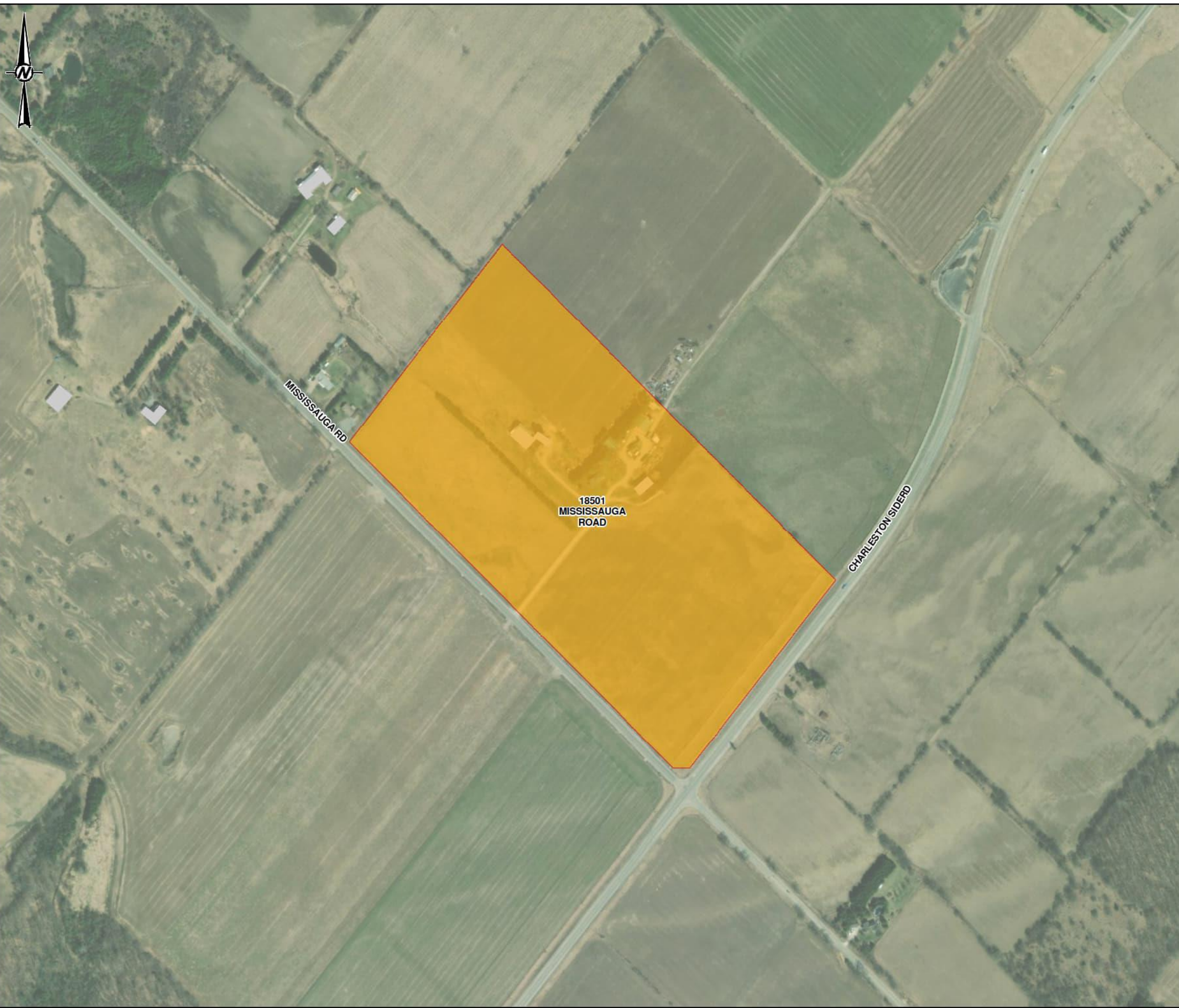
YYYY-MM-DD	2023-07-31
DESIGNED	SO
PREPARED	SD
REVIEWED	HS
APPROVED	HM

PROJECT NO.
19129150

CONTROL
0049

REV.
0

FIGURE
1



LEGEND
 STUDY AREA



NOTE(S)
 1. ALL LOCATIONS ARE APPROXIMATE

REFERENCE(S)
 1. CONTAINS INFORMATION LICENSED UNDER THE OPEN GOVERNMENT LICENCE - ONTARIO
 2. IMAGERY CREDITS: SOURCES: ESRI, HERE, GARMIN, INTERMAP, INCREMENT P CORP., GEBCO, USGS, FAO, NPS, NRCAN, GEOBASE, IGN, KADASTER NL, ORDNANCE SURVEY, ESRI JAPAN, METI, ESRI CHINA (HONG KONG), (C) OPENSTREETMAP CONTRIBUTORS, AND THE GIS USER COMMUNITY
 3. COORDINATE SYSTEM: NAD 1983 UTM ZONE 17N

CLIENT
 CBM AGGREGATES, A DIVISION OF ST. MARYS CEMENT INC. (CANADA)

PROJECT
 CULTURAL HERITAGE IMPACT STATEMENT, 18501 MISSISSAUGA, TOWN OF CALEDON, REGIONAL MUNICIPALITY OF PEEL, ONTARIO

TITLE
 AERIAL PHOTOGRAPH SHOWING THE LOCATION OF THE STUDY AREA

CONSULTANT	YYYY-MM-DD	2023-07-31
	DESIGNED	SO
	PREPARED	SD
	REVIEWED	HS
	APPROVED	HM

PROJECT NO. 19129150 CONTROL 0049 REV. 0 FIGURE 2

PATH: E:\Clients\Waterloo_Chemical\Proj_3_Calendar\Proj_3_Calendar\Proj_3_Calendar\19129150\0049_PIC001\0049_PIC001.dwg PRINTED ON: 2023-08-18 AT: 12:03:24 PM

25mm IF THIS MEASUREMENT DOES NOT MATCH WHAT IS SHOWN, THE SHEET SIZE HAS BEEN MODIFIED FROM ANSIB

2 METHODOLOGY

2.1 REGULATORY REQUIREMENTS

The requirements to consider cultural heritage under the Planning Act process is found in the *Provincial Policy Statement (PPS)* (Government of Ontario 2024) and the *Ontario Heritage Act*, R.S.O. 1990, c. O.18 (Government of Ontario 1990).

2.1.1 AGGREGATE RESOURCES ACT

UPDATE No.1 (September 2025): Section 2.1.1 was added to reflect changes in policy since the original HIA submission (2023). This update was made in response to Town comment No. 11.

As reflected in the Cultural Heritage Report, the Aggregate Resources of Ontario: Technical Reports and Information Standards (2020) adopted by *Ontario Regulation 244/97* under the *Aggregates Resources Act* states that applications for a Class A license, Class B licence, or an aggregate permit must include a Cultural Heritage Report consistent with provincial requirements under the *Ontario Heritage Act* and Provincial Planning Statement. The Standards indicate that a screening checklist with supporting documentation is required to evaluate the potential for BHRs and CHLs. Following the checklist, the Standards state that a Cultural Heritage Evaluation Report (CHER) is required for any potential BHRs and/ or CHLs identified, and that the CHER must be prepared by a professional with appropriate experience and expertise. Following the CHER, if the evaluation determines one or more BHRs or CHLs to have CHVI, a Heritage Impact Assessment (HIA) must be completed.

This HIA satisfies the requirements to conduct a CHER and HIA, as per the requirements of the *Aggregate Resources Act*.

2.1.2 PROVINCIAL PLANNING STATEMENT

UPDATE No.1 (September 2025): Section 2.1.2 was updated to reflect changes in policy since the original HIA submission (2023). This update was made in response to Town comment No. 12.

The *Planning Act* describes planning direction in Ontario. In particular, Section 2 of the *Planning Act* identifies that planning authorities at the municipality should have regard to matters of provincial interest, including the conservation of features of significant architectural, cultural, historical, archaeological or scientific interest.

Similarly, the PPS 2024 prioritizes the long-term conservation of the Province's cultural heritage resources, including built heritage resources, cultural heritage landscapes, and archaeological resources as they provide environmental, economic and social benefits.

- 1 A coordinated, integrated and comprehensive approach should be used when dealing with planning matters within municipalities, across lower, single and/or upper-tier municipal boundaries, and with other orders of government, agencies, boards, and Service Managers including:
 - c managing natural heritage, water, agricultural, mineral, and cultural heritage and archaeological resources;

Section 4.6 also details the conservation of cultural heritage and archaeology through the following five policies:

- 1 Protected heritage property, which may contain built heritage resources or cultural heritage landscapes, shall be conserved.
 - 2 Planning authorities shall not permit development and site alteration on lands containing archaeological resources or areas of archaeological potential unless the significant archaeological resources have been conserved.
 - 3 Planning authorities shall not permit development and site alteration on adjacent lands to protected heritage property unless the heritage attributes of the protected heritage property will be conserved.
 - 4 Planning authorities are encouraged to develop and implement:
 - a archaeological management plans for conserving archaeological resources; and
 - b proactive strategies for conserving significant built heritage resources and cultural heritage landscapes.
 - 5 Planning authorities shall engage early with Indigenous communities and ensure their interests are considered when identifying, protecting and managing archaeological resources, built heritage resources and cultural heritage landscapes.
-

2.1.3 ONTARIO HERITAGE ACT

The *Ontario Heritage Act*, R.S.O. 1990, c. O.18 enables municipalities and the provincial government to protect heritage properties and archaeological sites (Government of Ontario 1990). The *Ontario Heritage Act* includes two regulations for determining Cultural Heritage Value or Interest (CHVI):

- O. Reg. 9/06 (as amended by O. Reg. 569/22) (Government of Ontario 1990) to determine if a property has CHVI at a local level, and
- O. Reg. 10/06 (Government of Ontario 2006) to determine if a property has CHVI of provincial significance.

For this study, O. Reg. 9/06 was used. The criteria for determining CHVI under O. Reg. 9/06 are:

- 6 The property has design or physical value because it is a rare, unique, representative or early example of a style, type, expression, material or construction method,
- 7 The property has design or physical value because it displays a high degree of craftsmanship or artistic merit, or
- 8 The property has design or physical value because it demonstrates a high degree of technical or scientific achievement.
- 9 The property has historical value or associative value because it has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community,
- 10 The property has historical value or associative value because it yields, or has the potential to yield, information that contributes to an understanding of a community or culture, or
- 11 The property has historical value or associative value because it demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community.
- 12 The property has contextual value because it is important in defining, maintaining or supporting the character of an area,
- 13 The property has contextual value because it is physically, functionally, visually or historically linked to its surroundings, or
- 14 The property has contextual value because it is a landmark.

(Government of Ontario 1990)

2.1.3.1 BILL 23 AND BILL 200

UPDATE No. 1 (September 2025): Section 2.1.3.1 was added during the updated report (2025) to reflect changes in policy since the original HIA (2023). This update was made in response to Town comment No. 13.

Bill 23 was passed by the provincial government and received Royal Assent on November 28, 2022 (Government of Ontario 2022a). Schedule 6 of Bill 23 amends the *Ontario Heritage Act*, which impacts processes and planning approvals related to listed and designated heritage properties. The amendments came into effect on January 1, 2023, and all municipalities are required to comply with the changes. Changes to the *Ontario Heritage Act* made through Bill 23 relevant to this project include the following (ERO 2023):

- If a municipality does not issue a Notice of Intention to Designate (NOID) a property listed on the municipal heritage register, then Council is required to remove the property from the heritage register and it cannot be readded for a period of five years.
- A NOID may only be issued for properties that are listed on a municipal heritage register.
- A property must meet two or more criteria of O. Reg. 9/06 to be designated under Part IV of the *Ontario Heritage Act*.
- If a municipality intends to designate a property subject to a development application under the *Planning Act*, a NOID must be issued within 90 days of the receipt of a complete application.

The deadline prescribed in Bill 23 for removing non-designated (i.e. listed) properties from the municipality's register if the council does not issue a NOID on or before January 1, 2025.

Bill 200 was passed by the provincial government and received Royal Assent on June 6, 2024. Schedule 2 amends the *Ontario Heritage Act* and the deadline previously prescribed in Bill 23 for removing non-designated (i.e. listed) properties from the municipality's register if council does not issue a NOID on or before January 1, 2025. Bill 200 (Schedule 2) amends this date to January 1, 2027, providing municipalities with additional time to assess their heritage registers (Government of Ontario 2024). Schedule 2 of Bill 200 also adds new subsections to section 27, which prevent relisting a non-designated property for five years after it is removed from the register.

2.1.4 REGION OF PEEL OFFICIAL PLAN

UPDATE No. 1 (September 2025): Per Ontario Bill 23 (*More Homes Built Faster Act, 2022*) and Bill 185 (*Cutting Red Tape to Build More Homes Act, 2024*), in force as of July 1, 2024, the Region of Peel Official Plan (June 2024 Consolidation) constitutes the Official Plan for Peel's lower-tier municipalities (such as the Town).

The Region of Peel Official Plan outlines policies concerning cultural heritage resources and states that the region:

Encourages and supports conservation of the cultural heritage resources of all peoples whose stories inform the history of Peel. The Region recognizes the significant role of heritage in establishing a shared sense of place, contributing to environmental sustainability and developing the overall quality of life for residents and visitors to Peel. The Region supports the identification, conservation and interpretation of cultural heritage resources, including but not limited to the built heritage resources, structures, archaeological resources, and cultural 3.6 Cultural Heritage Region of Peel Official Plan Chapter 3: Resources Page 111 heritage landscapes (including properties owned by the Region or properties identified in Regional infrastructure projects), according to the criteria and guidelines established by the Province.

(Region of Peel 2022: 110-11)

Objectives and policies relating to the development and protection of cultural heritage are included in Section 3.6 of the Region of Peel Official Plan. Those relevant to this HIA are:

Objectives:

3.6.1 To identify, conserve and promote Peel's non-renewable cultural heritage resources, including but not limited to built heritage resources, cultural heritage landscapes and archaeological resources for the well-being of present and future generations.

3.6.2 To encourage stewardship of Peel’s built heritage resources and cultural heritage landscapes and promote well-designed built form to support a sense of place, help define community character, and contribute to Peel’s environmental sustainability goals.

3.6.3 To strengthen the relationship between the local municipalities, Indigenous communities and the Region when a matter having inter-municipal cultural heritage significance is involved.

3.6.4 To support the heritage policies and programs of the local municipalities.

Policies:

3.6.5 Work with the local municipalities, stakeholders and Indigenous communities in developing and implementing official plan policies and strategies for the identification, wise use and management of cultural heritage resources.

3.6.6 Direct the local municipalities to include policies in their official plans for the identification, conservation and protection of significant cultural heritage resources, including significant built heritage resources and significant cultural heritage landscapes as required in cooperation with the Region, the conservation authorities, other agencies and Indigenous communities, as appropriate.

3.6.8 Require cultural heritage resource impact assessments, where appropriate for infrastructure projects, including Region of Peel projects and ensure that recommended conservation outcomes resulting from the impact assessment are considered.

3.6.9 Encourage the local municipalities to consult with the Indigenous communities when commemorating cultural heritage resource and archaeological resources.

3.6.10 Require local municipal official plans to include policies where the proponents of development proposals affecting cultural heritage resources provide sufficient documentation to meet provincial requirements and address the Region's objectives with respect to cultural heritage resources.

3.6.11 Direct the local municipalities to only permit development and site alteration on adjacent lands to protected heritage property where the proposed property has been evaluated and it has been demonstrated that the heritage attributes of the protected heritage property will be conserved.

(Region of Peel 2022: 111-112)

2.1.5 TOWN OF CALEDON OFFICIAL PLAN

UPDATE No. 1 (September 2025): *Town comment 14 suggested review of Future Caledon Official Plan (adopted March 2024 but not yet approved). However, project applications were filed prior to the adoption or approval of Future Caledon. Accordingly, the Project is not subject to this Official Plan and the summary of applicable policies remains the same as the 2023 submission. This update was made in response to Town comment No. 14.*

The Town of Caledon outlines the Official Plan as a “a statement of principles, goals, objectives and policies intended to guide future land use, physical development and change, and the effects on the social, economic, and natural environment within the Town of Caledon” (Town of Caledon 2018: 1-3). The policies outlined are “designed to promote public input and involvement in the future of the Town and to maintain and enhance the quality of life for the residents of Caledon” (Town of Caledon 2018: 1-3).

Section 3.3 of the Official Plan is entitled “Cultural Heritage Conservation” and outlines policies for the Town’s heritage resource management strategy. Policies relevant to development and protection of cultural heritage are included below.

3.3.3.1.5 Heritage Impact Assessments

- a) Where it is determined that further investigations of cultural heritage resources beyond a Cultural Heritage Survey or Cultural Heritage Planning Statement are required, a Heritage Impact Assessment may be required. The determination of whether a Heritage Impact Assessment is required will be based on the following:
 - i) the extent and significance of cultural heritage resources identified, including archaeological resources and potential, in the Cultural Heritage Survey or Cultural Heritage Planning Statement and the recommendations of the Cultural Heritage Survey or Cultural Heritage Planning Statement;
 - ii) the potential for adverse impacts on cultural heritage resources; and,
 - iii) the appropriateness of following other approval processes that consider and address impacts on cultural heritage resources.
- b) Where it is determined that a Heritage Impact Assessment should be prepared, the Heritage Impact Assessment shall be undertaken by a qualified professional with expertise in heritage studies and contain the following:
 - i) a description of the proposed development;
 - ii) a description of the cultural heritage resource(s) to be affected by the development;
 - iii) a description of the effects upon the cultural heritage resource(s) by the proposed development;
 - iv) a description of the measures necessary to mitigate the adverse effects of the development upon the cultural heritage resource(s); and,
 - v) a description of how the policies and guidance of any relevant Cultural Heritage Planning Statement have been incorporated and satisfied.

Where a Heritage Impact Assessment is required, the proponent is encouraged to consult with the Town and other relevant agencies concerning the scope of the work to be undertaken.

3.3.3.1.7 Should a development proposal change significantly in scope or design after completion of an associated Cultural Heritage Survey, Cultural Heritage Planning Statement or Heritage Impact Assessment, additional cultural heritage investigations may be required by the Town.

3.3.3.1.8 Appropriate conservation measures, identified in a Cultural Heritage Planning Statement, Cultural Heritage Survey or Heritage Impact Assessment, may be required as a condition of any development approval. Where the Town has the authority to require development agreements and, where appropriate, the Town may require development agreements respecting the care and conservation of the affected cultural heritage resource. This provision will not apply to cultural heritage resources in so far as these cultural heritage resources are the subject of another agreement respecting the same matters made between the applicant and another level of government or Crown agency.

3.3.3.1.14 Cultural and Natural Landscapes

In its consideration of all development and redevelopment proposals, the Town will have regard for the interrelationship between cultural heritage landscapes and scenic natural landscapes, in accordance with Section 3.2.3.5 of this Plan.

3.3.3.1.15 Vegetation

The Town will encourage the conservation of significant cultural heritage vegetation. Retention of significant cultural heritage vegetation shall be a consideration in the design of any development. The conservation of significant cultural heritage vegetation along streets

and roads shall be encouraged by the Town, except where removal is necessary because of disease, damage or to ensure public health and safety.

3.3.3.3.3 Retention/Relocation of Heritage Buildings

The Town shall encourage the retention of significant built heritage resources in their original locations whenever possible. Before such a building is approved for relocation to another site, all options for on-site retention shall be investigated. The following alternatives, in order of priority, shall be examined prior to approval for relocation:

- a) Retention of the building on-site in its original use. In a residential subdivision, a heritage dwelling could be retained on its own lot for integration into the residential community;
- b) Retention of the building on-site in an adaptive re-use, e.g. in a residential subdivision, a heritage dwelling could be retained for a community centre or a day care centre;
- c) Relocation of the building on the development site. A heritage building, if of significant historical, architectural or contextual importance, could be relocated to another location within the proposed development; and,
- d) Relocation of the building to a sympathetic site. If interest is demonstrated, the heritage building could be relocated to an available lot at a sympathetic site within the Town

(Town of Caledon 2018: 3-32 - 3-38)

Section 5.11.2.4.2 of the Official Plan sets out the requirements for approval of an application for an Official Plan Amendment to designate lands identified as Aggregate Resource Lands. Among the requirements is the following:

- f) The applicant has completed a Cultural Heritage Survey as described by Section 5.11.2.4.12 and, where required, additional cultural heritage studies, such as a Heritage Impact Assessment, or an archaeological assessment and has demonstrated that there will not be any unacceptable impacts;

(Town of Caledon 2018: 5-138)

Section 5.11.2.4.12 further outlines conservation measures which may be applicable:

- b) Cultural heritage resource conservation measures may include, as appropriate, retention and use or adaptive re-use of heritage buildings and structures, incorporation of cultural heritage elements such as fence lines and tree lines where possible, and carrying out appropriate salvage and recording of cultural heritage resources that may be removed as a result of aggregate extraction operations.

(Town of Caledon 2018: 5-141)

2.2 GUIDANCE DOCUMENTS

2.2.1 PROVINCIAL GUIDANCE

The MCM is responsible for the administration of the *Ontario Heritage Act* and has developed checklists, information bulletins, standards and guidelines, and policies to support the conservation of Ontario's cultural heritage resources, including built heritage resources, cultural heritage landscapes, and archaeological sites.

The MCM released the *Ontario Heritage Tool Kit* in 2006, which is a series of guidelines that outline the heritage conservation process in Ontario. Two volumes from the *Ontario Heritage Tool Kit* were used to guide the preparation of this HIA, including:

- *Heritage Property Evaluation: A Guide to Listing, Researching, and Evaluating Cultural Heritage Property in Ontario Communities* (MCM 2006a)
- *Heritage Resources in the Land Use Planning Process, InfoSheet #5, Heritage Impact Assessments and Conservation Plans* (MCM 2006b)

Also used to guide the preparation of this HIA was the MCM *Standards and Guidelines for Conservation of Provincial Heritage Properties: Heritage Identification & Evaluation Process* (MCM 2014), which provides detailed direction on the completion of O. Reg. 9/06 evaluations.

2.2.2 TOWN OF CALEDON HERITAGE IMPACT ASSESSMENT TERMS OF REFERENCE

The Town of Caledon's Terms of Reference for Heritage Impact Assessments (ToR) assists developers and consultants by outlining a set of guidelines that ensures consistent and comprehensive HIAs (Town of Caledon 2019). The ToR details the required components and states that HIAs must adhere to the conservation principles outlined in documents such as the MCM's *Heritage Conservation Principles for Land Use Planning* (MCM 2007), *Eight Guiding Principles in the Conservation of Historic Properties* (MCM 1997), Parks Canada's *Standards and Guidelines for the Conservation of Historic Places in Canada* (CHP S&Gs) (Canada's Historic Places 2010), and Fram's 2003 *Well-Preserved: The Ontario Heritage Foundations Manual of Principles and Practice For Architectural Conservation*.

2.3 BACKGROUND RESEARCH

Background research was carried out to gain a thorough understanding of the historical context of the Study Area. Primary and secondary sources, historical maps, and aerial photographs were consulted, as appropriate, to identify historical themes relevant to the Study Area. Specifically, research regarding the physiography, survey and settlement, and 19th and 20th century land use of the Study Area was completed. A review of historical mapping and aerial photographs was also conducted to identify settlements, structures, and landscape features within, and adjacent to, the Study Area. This included historical maps from 1859 to 1994 and aerial photographs and imagery from 1954 to the present.

The results of the background research are presented in Section 3 of this report.

2.4 INFORMATION GATHERING

The Town of Caledon, Ontario Heritage Trust, and MCM, were contacted by email or telephone to confirm the heritage status of the property and gather background information to inform the heritage evaluation. In addition, cultural heritage input gathered from community consultation sessions and Public Information Centres (PICs) completed as part of the Project have been reviewed by WSP staff and incorporated into this HIA, as appropriate.

The results of the community consultation activities are presented in Section 4.1 of this report.

2.5 FIELD REVIEW

The purpose of the field review was to establish the existing conditions of the Study Area and identify potential heritage attributes in the Study Area. Photographic documentation of the Study Area and its spatial context was completed.

The results of the field review are presented in Section 0 of this report.

2.6 CULTURAL HERITAGE EVALUATION

The scope of work for this HIA included an evaluation of the Study Area to determine if it met the criteria for CHVI prescribed in O. Reg. 9/06 of the *Ontario Heritage Act*. The Study Area is considered to have potential CHVI as it is listed on the Town of Caledon's heritage register but not designated under Part IV of the *Ontario Heritage Act*.

The results of the O. Reg. 9/06 evaluation are provided in Section 5 of this report.

2.7 IMPACT ASSESSMENT

An impact assessment is required when a study area evaluated to have CHVI is anticipated to be directly or indirectly affected by a new development. InfoSheet#5 of *Heritage Resources in the Land Use Planning Process: Cultural Heritage and Archaeology Policies of the Ontario Provincial Policy Statement* (MCM 2006b) provides guidance to assess the following direct and indirect impacts that may occur when development is proposed within, or adjacent to, a heritage property:

- Direct Impacts
 - Destruction of any, or part of any, significant heritage attributes or features
 - Alteration that is not sympathetic, or is incompatible, with the historic fabric and appearance
 - Indirect Impacts
 - Shadows created that alter the appearance of a heritage attribute or change the viability of a natural feature or plantings, such as a garden
 - Isolation of a heritage attribute from its surrounding environment, context or significant relationship
 - Direct or indirect obstruction of significant views or vistas within, from, or of built and natural features
 - A change in land use such as rezoning a battlefield from open space to residential use, allowing new development or site alteration to fill in formerly open spaces
 - Land disturbances such as a change in grade that alters soils and drainage patterns that adversely affect an archaeological resource.
-

2.8 MITIGATION MEASURES

When an impact assessment determines that the new development will negatively affect the CHVI and heritage attributes of a study area, mitigation measures are required. MCM InfoSheet#5 presents the following general strategies to minimize or avoid negative impacts to cultural heritage resources:

- Alternative development approaches
- Isolating development and site alteration from significant built and natural features and vistas
- Design guidelines that harmonize mass setback, setting, and materials
- Allowing only compatible infill and additions
- Reversible alterations
- Buffer zones and other planning mechanisms

In addition to the mitigation measures contained in InfoSheet#5, general standards for preservation, rehabilitation, and restoration are found in the *Standards and Guidelines for the Conservation of Historic Places in Canada* (CHP S&Gs) (Canada's Historic Places 2010:22). The CHP S&Gs are widely accepted as the guiding document for

heritage conservation in Canada and contain general conservation standards and guidelines that are specific to cultural heritage resource types such as buildings, engineering works, and cultural heritage landscapes. Where applicable, guidelines from the CHP S&Gs were used in this HIA to recommend mitigation measures that are specific to a resource type.

3 HISTORICAL CONTEXT

3.1 PHYSIOGRAPHY

The Study Area is situated within the Guelph Drumlin Field physiographic region of southern Ontario (Chapman and Putnam 1984). The Guelph Drumlin Field physiographic region occupies approximately 830 km² between the Regional Municipality of Waterloo and the northwest portion of the Region of Peel and is centered on the City of Guelph. Within the Guelph Drumlin Field are approximately 300 drumlins —oval hills of glacial till— that vary in size and are mostly broad and oval in form. They are more widely dispersed, and have less steep slopes, than drumlin fields elsewhere in Ontario and are composed of loam and chalk originating from the Amabel Formation dolostone exposed along the Niagara Escarpment and red shale found below the Escarpment (Chapman and Putnam 1984:137).

The Study Area is located within a spillway or glacial meltwater channel within the Guelph Drumlin Field. Spillways are typically broad troughs floored wholly or in part by gravel beds and in the lowest beds are typically vegetated by cedar swamps. These formations are frequently found in association with moraines but are entrenched rather than elevated landforms. They are often occupied by stream courses, which raises the debate of their glacial origin (Chapman and Putnam 1984).

The Study Area is also within the Mixed-wood Plains ecozone of Ontario (Ecological Framework of Canada 2015). Although altered by human activity in the 19th century, this ecozone once supported a wide variety of deciduous trees, such as various species of ash, birch, chestnut, hickory, oak, and walnut, as well as a variety of birds and small to large land mammals, such as raccoon, red fox, white tailed deer, and black bear.

Finally, the Study Area is within the Credit River Watershed, which spans 1,000 km² and drains into Lake Ontario at Port Credit on the Mississauga waterfront (Credit Valley Conservation 2022). The Credit River flows south approximately 900 m east of the Study Area.

3.2 INDIGENOUS HISTORY

Indigenous peoples have lived in Ontario for thousands of years. The following only briefly summarizes this long and complex human history but aims to illustrate the major developments in Indigenous life as revealed through oral history, archaeology, and ethnohistory. In this summary, “culture” —the term archaeologists use to describe a shared material culture that identifies a time period or group— is substituted with “way of life” to reflect the direct Indigenous lineage from those living in the earliest periods to the present day (Julien *et al.* 2010).

The earliest archaeological remnants of Indigenous life in southern Ontario date to the end of the Wisconsin Glacial Period, approximately 11,000 years ago. These were left by people following what archeologists refer to as the Paleo way of life, with small, highly mobile groups taking advantage of seasonally available resources and following the migration patterns of large mammals, including now extinct megafauna.

As the climate changed and people following a Paleo way of life grew familiar with their surroundings, they developed local adaptations around 9,500 years ago known as the Archaic or Pre-ceramic way of life. Seasonal mobility continued, but more emphasis was placed on adapting to smaller territories and broadening the resource base. The archaeological record suggests that in general the social structures of Archaic people became increasingly complex, with Late Archaic archaeological sites showing evidence of exchange networks stretching as far away as the Mid-Atlantic as well as defined cemeteries with individuals buried with varied grave goods, possibly indicating a stratified society (Ellis and Ferris 1990).

The transition from an Archaic to Woodland way of life is marked by the introduction of pottery around 2,400 years ago. Despite its advantages for storing and cooking food, pottery appears to have had little impact on the hunter-gatherer way of life that had developed in the Late Archaic, though does suggest that people were consuming more plants, such as nuts, in their diet. Cemeteries dating to the Early Woodland sometimes involved constructing large

earthen mounds and interring items that had been acquired through exchange networks extending hundreds of kilometres in all directions. These elaborate burials, as well as finely made ground stone and chert objects, point to a sophisticated system of beliefs and ceremonies that may have been influenced by the Hopewell people of southern Ohio and Illinois. Hunter-gathering continued as the primary economy among some groups, while others in the Middle Woodland between 1,600 and 1,500 years ago were beginning to live in sedentary communities, a trend that continues into the Late Woodland Period (A.D. 500–900), when there is the earliest direct evidence for agriculture.

From the Late Woodland to contact with Europeans in the 16th century, southern Ontario was a culturally dynamic area, populated by distinct Nadowek (Iroquoian) and Anishinaabeg (Algonkian) groups (Englebrecht 2003; Trigger 2000; Schmalz 1991). Nadowek life increasingly revolved around growing maize and other crops such as beans, squash, sunflower, and tobacco, while people ancestral to the Anishinaabe following the Western Basin way of life were more mobile, moving with seasonally available resources. However, at the borderlands of the Nadowek and Western Basin were agricultural communities living in small, palisaded villages with a mix of small and large houses, and who were both farming and seasonally mobile.

During the 18th century, the British colonial regime entered into a series of treaties with the Indigenous Nations in Canada. While these treaties were intended as formal legally binding agreements that would set out the rights, responsibilities and relationships between Indigenous Nations and the federal and provincial governments, the government of Ontario acknowledges that Indigenous nations may have different understandings of the treaties (Government of Ontario 2022b, Historica Canada 2021). As French and British encroachment increased from the early 19th century onwards, Indigenous ways of life adapted to the change in complex and varied ways.

The Seven Years' War (1756-1763) was a global war that was fought in Europe, India, the Americas, and at sea (Historica Canada 2006). In North America, Britain and France struggled for dominance with each side supported by Indigenous allies. At the conclusion of the war, Britain became the leading colonial power in North America (Historica Canada 2006). In 1763, the British issued the Royal Proclamation, which stated that land that was not in control of the British belonged to Indigenous Nations and that the Nations would retain their lands unless ceded to the Crown (Historica Canada 2006). The Nations and the British met at Fort Niagara in 1764 where they negotiated a new alliance that was embodied in the Covenant Chain Wampum Belt and the Treaty of Niagara Alliance Medal (Canadian Museum of History 2023). The Royal Proclamation of 1763 and the Niagara Treaty of 1764 are of great significance since the British recognized that Indigenous Nations owned the land and were an autonomous entity (Canadian Museum of History 2023). This relationship is conveyed on the 1764 Covenant Chain Wampum Belt that depicts two people side by side, as equals (Canadian Museum of History 2023).

The Study Area is located on the territory of Treaty 19, also known as the Ajetance Purchase, an agreement signed on 28 October 1818 between representatives of the Credit River Mississauga, led by Chief Ajetance, and William Claus, Superintendent of the British colonial Indian Department. In exchange for approximately 648,000 acres within the present-day Regions of Halton and Peel, the Mississaugas were to be paid £522, 10 shillings in goods annually and retain access to their land along the Credit River and their three reserves at the mouths of the Credit River, Sixteen Mile Creek and Twelve Mile Creek (Surtees 1984:77-78). While some have interpreted Ajetance's agreement to the Treaty 13 terms as the result of his weakened negotiating position, others have noted how he likely anticipated the British would press for further treaties, so fought to retain the strategic location of the river mouth reserves (Surtees 1984:78).

To recognize and honour the municipality's Indigenous heritage and land rights, the Town of Caledon, in consultation with the Mississaugas of the Credit First Nation, has developed the following land acknowledgement:

Indigenous Peoples have unique and enduring relationships with the land.

Indigenous Peoples have lived on and cared for this land throughout the ages. We acknowledge this and we recognize the significance of the land on which we gather and call home.

We acknowledge the traditional Territory of the Huron-Wendat and Haudenosaunee Peoples, and the Anishnabek of the Williams Treaties.

This land is part of the Treaty Lands and Territory of the Mississaugas of the Credit First Nation.

We honour and respect Indigenous heritage and the long-lasting history of the land and strive to protect the land, water, plants and animals that have inhabited this land for the generations yet to come.

3.3 TOWNSHIP SURVEY AND SETTLEMENT

During the British colonial period, the Study Area was within Lot 16, Concession 4, West of Hurontario Street (W.H.S.), in the Geographic Township of Caledon, Peel County.

3.3.1 PEEL COUNTY

In 1788, the colonial government of British North America began dividing Ontario into districts and counties. The Study Area was originally within the district of Nassau, renamed the Home District in 1792, which included the lands at the northwest portion of Lake Ontario and the Niagara Peninsula (Armstrong 1985, Archives of Ontario 2022). The Home District's administrative centre was Newark, now Niagara-on-the-Lake. Each district was further subdivided into counties and townships but by 1852, the district system was abandoned, leaving governance to the counties, townships, and cities and towns (Archives of Ontario 2022). The former Home District became the United Counties of York, Ontario, and Peel; after Ontario separated to form its own administration in 1854, Peel officially separated from York in 1867 (Armstrong 1985, PAMA⁴ n.d.).

Peel County was named for Sir Robert Peel, a British politician who had previously served as the Home Secretary and Prime Minister of Great Britain. In 1974, the Region of Peel replaced Peel County as an upper-tier municipality (PAMA n.d.).

3.3.2 TOWN OF CALEDON AND THE FORMER TOWNSHIP OF CALEDON

Caledon Township was surveyed in 1819-1820 with concession lines running northwards from Lake Ontario and side roads intersecting the concessions from east to west (Walker and Miles 1877). Caledon Township is between Erin Township and Albion Township, all referencing the Latin names of Scotland, Ireland, and England – Caledonia, Eire, and Albion, respectively (Gardiner 1899). The principal roadway through Caledon Township was Hurontario Street, which stretched from Lake Huron south to Lake Ontario. Hurontario Street formed the baseline for six concessions extending from both sides of the street. These concessions are identified as West of Hurontario Street (W.H.S.) and East of Hurontario Street (E.H.S.).

Early colonial settlement in the township was by Scots, Irish, and United Empire Loyalists (Mika and Mika 1977), who established some of the first communities at Alton, Cataract, Charleston, Belfountain, and Silver Creek. Woolen and gristmills, combined with the arrival of the Credit Valley Railway and Toronto, Grey, and Bruce Railway in the 1870s, brought economic prosperity to the township and supported its many agricultural industries. Railway connections to the urban markets at Guelph, Orangeville, and Toronto from the late 19th to early 20th century further enabled large-scale farming in Caledon Township (PAMA 2023).

On January 1, 1974, Caledon Township amalgamated with the north half of Chinguacousy Township, the Village of Bolton, the Village of Caledon East, and the Township of Albion to become the new Town of Caledon – a lower tier municipality within the upper tier Peel Region (Mika and Mika 1977).

⁴ As part of the updated report, it was noted that the Region of Peel Archives has separated from the Peel Art Gallery, Museum and Archives (PAMA). As of April 2025, PAMA's website still indicates that the Region of Peel Archives at PAMA is the official archives of the Region of Peel and its constituent municipalities of Mississauga, Brampton and Caledon.

3.4 STUDY AREA HISTORY

3.4.1 LAND USE HISTORY

Land registry data for the Study Area was accessed from the Ontario Land Property Records Portal and is reproduced in Table 1. Available census data, tax assessment rolls, and other archival material was also reviewed.

Table 1: Land Registry Data for the Study Area (Part of Lot 16, Concession 4, W.H.S., Caledon Township, Peel County)

INSTRUMENT	DATE	GRANTOR	GRANTEE	QUANTITY OF LAND
Patent	September 1832	Crown	Canada Company	West half of Lot 16 (100 acres, including the Study Area)
Patent	November 1833	Crown	Canada Company	East half of Lot 16 (100 acres)
Bargain & Sale	April 1836	Canada Company	John Cameron	Entirety of Lot 16 (200 acres)
Bargain & Sale	1852	Estate of John Cameron	James Cameron	Lot 16 (200 acres)
Bargain & Sale	January 1897	James and Mary Cameron	James Cameron Jr.	Southwest half of the west half of Lot 16 (50 acres, Study Area)
*note that records between 1901 and 1940 were not available from the Land Registry Office. The lands within the Study Area (designated as the 'southwest half of the southwest half of Lot 16' in the land registry records) appear to have been transferred to Agnes Magee during this time.				
Grant	November 1939	Agnes Magee	George McClellan	Study Area
Grant	February 1966	George McClellan	John A. McClellan	Study Area
Grant	August 1969	John A. McClellan	John H. McClellan	Study Area
A Housing Development Lien Certificate was registered from John H. McClellan to the Town of Caledon in November 1983 and discharged by the Town 10 years later. No records for the property exist beyond 1993; however, CBM confirmed that the property was purchased in December 2020.				

The larger parcel on which the Study Area is situated —Lot 16, Concession 4 W.H.S., Township of Caledon, Peel County— was granted through Crown patent in two 100-acre parts to the Canada Company. The west half was granted in September 1832, and the east half in November 1833. A description of the adjacent Lot 17 indicated that the land was originally wooded with maple, elm, beech, and bass, and the soil was a black loam (PAMA n.d., Reel 08, 0663). Both halves of the Lot were formally purchased by John Cameron in April 1836 at a price of \$50 each (Ontario Land Registry n.d.: 307). An 1833 document records a public meeting held at Cameron’s house on Lot 16, Concession 4 W.H.S., indicating he was living on the property by that date, possibly leasing it from the Canada Company, as was the common path to ownership in Canada Company lands (Region of Peel Archives n.d. Folio 15, Page 7; Cameron 1975:154). It is not clear whether the house referenced in 1833 is the same one that stands today or an earlier, more expedient structure. As Cameron was engaged with the Canada Company, he was not required to perform the “settlement duties” of patent grantees, which required that a 20 by 16 foot house be erected within two years of receiving the Crown Patent (Blake and Greenhill 1969:7); however, across southern Ontario, the first homes of non-Indigenous settlers were most often log shanties or cabins that served as interim accommodation until the farm was established and a permanent residence in either wood frame or masonry could be constructed (Rempel 1980, Coffey 1984, Kenyon 1997).

Born in 1782, John Cameron emigrated to Canada from Perthshire, Scotland in 1828 with his wife Helen (nee Ferguson), seven sons, and two daughters. Tragically, his son David died at sea during the crossing (PAMA, n.d., 8509). The family had settled at Lot 16, Concession 4 W.H.S. by 1833. A decade after they purchased Lot 16, Concession 4 W.H.S. in 1836, one of John’s sons Duncan Cameron purchased the adjacent 200-acres to the north at

Lot 17. John Cameron died in 1848 and his estate settled in 1852 with his youngest surviving son, James Cameron (born 1824), purchasing all 200-acres of Lot 16 from his brothers and mother for \$200 (Ontario Land Registry n.d.: 307). The 1851 Census records Helen Cameron (age 64) as living with her sons Hugh (36), Donald (29), and James (26) (1851 Personal Census, District 2, Caledon, p.135). Duncan Cameron was, by this time, living at Lot 17 with his wife and children.

Tremaine's 1859 map of the County of Peel shows James Cameron as owner of the entire 200 acres of Lot 16, Concession 4 W.H.S., and depicts a house in the centre of the property's southwest half, in the same location as the extant house in the Study Area (Tremaine 1859; Figure 3). A Cameron family history, written by Annie Beatty in 1935, states that this house was built by James Cameron in 1850 (PAMA n.d., 8511).

The 1861 Census lists James Cameron as a farmer living with his wife Mary (nee McGill), three sons, and two daughters.⁵ The 1861 Census notes that James Cameron and his family lived in a 1 storey wood framed house. The Agricultural Census of the same year records James Cameron at Concession 4, Lot 16, with 300 acres, of which 200 were cultivated, 123 under cultivation (79 acres of wheat, 5 acres of peas, 7 acres of oats, 1 acre of potatoes, and 1 acre of turnips), 73 as pasture, and 2 as orchards. The farm had a total value of \$7,500 (1861 Agricultural Census, District 6, Caledon, 86). While Lot 16 was only 200 acres, Tremaine's 1859 map also shows James as owner of Lot 16, Concession 5 W.H.S., which would account for the 300 acres listed in the Agricultural Census.

In the 1871 Census, James (44) and Mary (43) Cameron were living with eight children: John (18), Annie J. (15), Margaret E. (13), James (11), Peter (9), Mary (7), George A. (5), and David (2). Both James and the eldest son John are listed as farmers. The Camerons were Baptists (1871 Census, Schedule 1, Cardwell 40/A, Caledon No.4, 43). James Cameron is listed as the owner of 400 acres, with one house and four barns/stables (Ibid., Schedule 3, 8). Of the 400 acres, 210 were identified as improved, including 70 acres of wheat, $\frac{3}{4}$ of an acre of potatoes, 40 acres of hay, and 20 acres of pasture. An additional two acres of orchards produced 50 bushels of apples (Ibid., Schedule 4, 8). Other assets and products of the farm included 7 horses, 1 colt/filly, 7 milch cows, 18 other horned cattle, 60 sheep, 8 swine and yearly production of 400 pounds butter, 150 pounds of cheese, and 400 pounds of wool (Ibid., Schedule 5, 8).

The 1877 Historical Atlas map shows James Cameron as owner of the whole 200 acres of Lot 16, Concession 4 W.H.S., as well as the adjacent 200-acre property at Lot 16, Concession 5 (Walker and Miles 1877, Figure 4). Two structures are shown on Cameron's land, one near the southwest corner of the lot with an adjacent orchard to the northeast, in the same location as the extant house in the Study Area, and a second in the northeast corner of the property.

James Sr. owned all of Lot 16 for another 17 years. In January 1897, James and Mary sold the southwest 50 acres of the southwest half of the lot to their son, James Cameron Jr. for \$1,250 (Ontario Land Registry n.d., 432). The boundaries of this part are not specified in the abstract book, but the current property boundary suggests that the delineation was made by a straight line parallel to the Concession Road. This transfer would have included the extant house and barns on the southwest half of the property shown on the 1859 and 1877 maps, corresponding to the Study Area. Despite this ownership change, it appears to have been the younger son, George A., who lived on the 150 acres of Lot 16 to the north of his older brothers 50 acres, who was farming the entirety of Lot 16, Concession 4 at the time. In the 1897 Tax Assessment, G. A. Cameron was assessed for the entirety of the 200-acre lot, with 150 acres improved, the remaining 50 acres being woodlot, and a tax value of \$7000 (PAMA 1897, Division 7, 38).

James Cameron Jr. married Deborah Maxwell in 1891. The 1891 census enumerates James (32) and Deborah (26) as living in a two-storey wood frame house with two second floor rooms and seven main floor rooms (1891 Census, Schedule 1, District No. 54 Cardwell, Township of Caledon, 3). At this time, James Sr. and Mary are living with their son George at the northeast end of the lot, likely in the house illustrated in this location in 1877. The transfer of the house and associated 50 acres comprising the Study Area to James Jr. appears to have been unofficial for at least 6 years prior to the registration of the transfer.

⁵ The ages of the family have been recorded incorrectly in the 1861 census, so they are not listed here.

The 1901 census shows James Cameron Jr. (40) living with his wife Debora (36), and son David A. (5) (1901 Census, Schedule 1, Cardwell 51/D, Caledon No.7, 4). James Jr. died in October of 1910 (Find a Grave 2018). The 1911 census enumerates Deborah (46) and their son David (15) in the Town of Orangeville, suggesting they had moved off the property by this time (1911 Census, Schedule 1, No. 62 Dufferin, No. 2. Town of Orangeville, 4).

Land registry records were missing between 1901 and 1939 but the property is passed to Agnes Magee during this time, as she appears in the records as granting the Study Area to George McClellan in November 1939. The Study Area remained in the McClellan family for the next 40+ years: George McClellan sold the property in February 1966 to John A. McClellan who sold the property to John H. McClellan in August of 1969. A Housing Development Lien Certificate is registered from John H. McClellan to the Town of Caledon in November 1983 and is discharged by the Town 10 years later. No records for the property exist beyond 1993. The property is currently owned by St. Marys Cement Inc.

3.4.2 20TH- AND 21ST-CENTURY MAPPING AND AERIAL IMAGERY

Mapping and aerial photography from the 20th to 21st century indicates that the Study Area and surrounding area continued in its 19th-century rural agricultural land use. Only minor change occurred within the Study Area as outbuildings were constructed and demolished. Table 2 provides a summary of the available maps and aerial photographs and these sources are illustrated in Figure 5 to Figure 9.

Table 2: Review of 20th Century Historical Mapping and Aerial Photographs

YEAR	SOURCE	HISTORICAL FEATURE(S)
1937 (Figure 5)	1937 Topographic Map of Ontario, <i>Orangeville Sheet</i> (Department of National Defence 1937)	<ul style="list-style-type: none"> A house and three outbuildings are illustrated. Two barns are shown to the west of the house and one U-shaped barn is located at the rear of the house. The house is shown in the location of the extant house. The two barns to the west of the house are in the location of the extant barn. A sand or gravel pit is illustrated within the Study Area, fronting Mississauga Road.
1952 (Figure 6)	1952 Topographic Map of Ontario, <i>Orangeville Sheet</i> (Department of National Defence 1952)	<ul style="list-style-type: none"> Structures on the property are shown in the same configuration as the 1937 mapping.
1954 (Figure 7)	1954 Aerial photograph 437.801 (Hunting Survey Corporation Limited 1954)	<ul style="list-style-type: none"> The arrangement of the building complex, agricultural fields, and vegetative boundaries are visible in the same configuration as present-day. The surrounding lands are primarily agricultural in nature. Details of the farmhouse and surrounding structures could not be identified.
1973 (Figure 8)	1973 Topographic Map of Ontario, <i>Orangeville Sheet</i> (Department of Energy, Mines and Resources 1973)	<ul style="list-style-type: none"> Structures on the property are shown in the same configuration as the 1937 mapping with one exception – one of the two barns located to the west of the house has been removed.
1985 (Plate 1)	Town of Caledon (1985)	<ul style="list-style-type: none"> The farmhouse is visible, as is the east addition. Both barns are visible in their current configuration (the U-shaped barn depicted on the 1973 and earlier mapping is not visible; the barn in this location has a square footprint). Two silos are visible adjacent to the barn to the west. Several outbuildings and silos are visible (Outbuildings No. 1 and 5, and silos which are currently positioned between Outbuildings No. 3 and 4 [not constructed in 1985])⁶

⁶ Defined in Section 4 and Figure 10

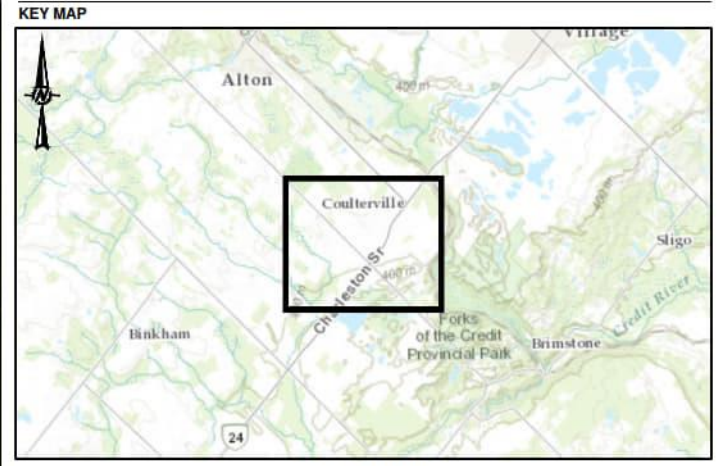
YEAR	SOURCE	HISTORICAL FEATURE(S)
1989 (Plate 2)	Town of Caledon (1989)	<ul style="list-style-type: none"> Configuration of the Study Area is much the same as 1985 with the construction of Outbuilding No. 4 in the time since.
1994 (Figure 9)	1994 National Topographic System, <i>Orangeville Sheet</i> (Department of Energy, Mines and Resources 1994)	<ul style="list-style-type: none"> The U-shaped barn shown on earlier mapping is shown with a rectangular footprint. A silo is shown between the house and the barn to the west.
1996 (Plate 3)	Town of Caledon (1996)	<ul style="list-style-type: none"> Configuration of the Study Area is much the same as 1989 except that several small sheds or outbuildings have been added near Outbuilding No.5.
1999 (Plate 4)	Town of Caledon (1999)	<ul style="list-style-type: none"> Configuration of the Study Area is much the same as 1996 with the construction of Outbuilding No. 3 in the time since.
2001-2022	Online Google Earth Aerial Imagery	<ul style="list-style-type: none"> The configuration of the Study Area is little changed from earlier aerial photographs and topographic mapping.

3.4.3 SUMMARY OF PROPERTY HISTORY

Historical mapping, land registry data, and census data indicate that the extant house in the Study Area was likely constructed for John Cameron and his family between 1836 and 1848. Though archival records mention a house on the lot in 1833, there is no evidence to confirm that this is the same house that stands today. As John Cameron did not formally own the lot until 1836, it is more likely that the house referenced in 1833 was an expedient log structure, and the family’s permanent house was not constructed until after the land was purchased, the farm established, and the family had sufficient capital to have a wood-frame residence erected. John Cameron would have been 54 years old when he purchased the property in 1836. His sons, Hugh (21 years old at the time the property was purchased), Donald (14), and James (11) are enumerated as living with their mother in the Study Area in 1851 and so it can be extrapolated that they, together with their brother Duncan, who purchased adjacent land in 1846, would have been living on property at the time it was purchased by their father. At this time, they would have been of an age to help with clearing the land and constructing the house (Hugh, 21; Duncan, 20; Donald 14; and James, 11).


The agricultural nature of the property was established in the 19th century and developed further in the early 20th century. By the 1930s, three barns had been established on the property (one of which is the extant barn to the west of the house), and vegetative hedgerows or treelines delineated the agricultural fields. This arrangement persisted through the 20th century and is still seen today.

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SCALE 1:150,000

LEGEND

 STUDY AREA



SCALE 1:10,000 METRES

NOTE(S)

1. ALL LOCATIONS ARE APPROXIMATE

REFERENCE(S)

1. 1859 TREMAINE'S MAP OF THE COUNTY OF PEEL, CANADA WEST, GEO. R. TREMAINE, TORONTO, PUBLISHED BY C.R. & G. M. TREMAINE, 1859.
2. COORDINATE SYSTEM: NAD 1983 UTM ZONE 17N

CLIENT

CBM AGGREGATES, A DIVISION OF ST. MARYS CEMENT INC. (CANADA)

PROJECT

CULTURAL HERITAGE IMPACT STATEMENT, 18501 MISSISSAUGA, TOWN OF CALEDON, REGIONAL MUNICIPALITY OF PEEL, ONTARIO

TITLE

1859 HISTORICAL MAP

CONSULTANT



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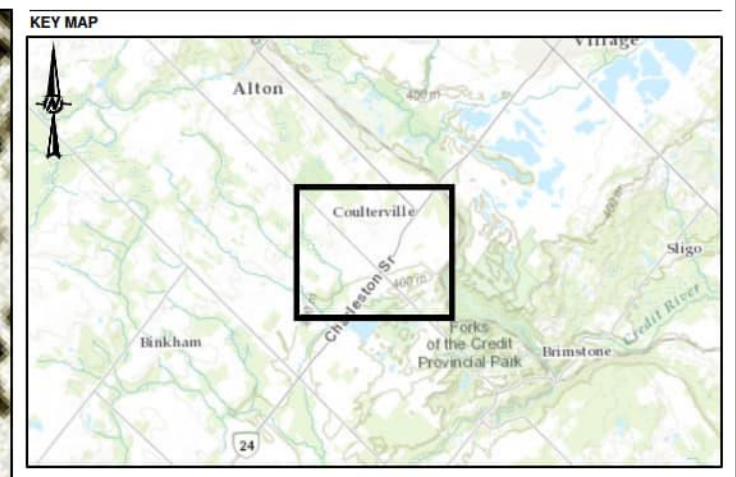
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
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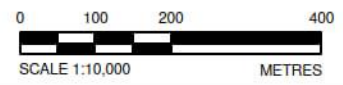
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FIGURE
3

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LEGEND
 STUDY AREA




NOTE(S)
 1. ALL LOCATIONS ARE APPROXIMATE

REFERENCE(S)
 1. 1877 TOWNSHIP OF CALEDON, PEEL COUNTY (ONTARIO MAP REF #20), ILLUSTRATED HISTORICAL ATLAS OF THE COUNTY OF PEEL, ONT. TORONTO, WALKER & MILES, 1877.
 2. COORDINATE SYSTEM: NAD 1983 UTM ZONE 17N

CLIENT
 CBM AGGREGATES, A DIVISION OF ST. MARYS CEMENT INC. (CANADA)

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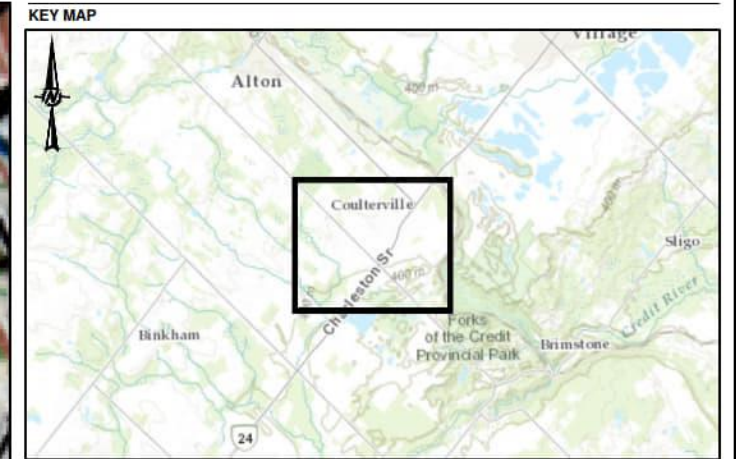
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	APPROVED	HM

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SCALE 1:150,000

LEGEND

 STUDY AREA



NOTE(S)

1. ALL LOCATIONS ARE APPROXIMATE

REFERENCE(S)

1. ORANGEVILLE, ONTARIO. 1:63,360. MAP SHEET 040P16, [ED. 1], 1937
2. COORDINATE SYSTEM: NAD 1983 UTM ZONE 17N

CLIENT

CBM AGGREGATES, A DIVISION OF ST. MARYS CEMENT INC. (CANADA)

PROJECT

CULTURAL HERITAGE IMPACT STATEMENT, 18501 MISSISSAUGA, TOWN OF CALEDON, REGIONAL MUNICIPALITY OF PEEL, ONTARIO

TITLE

1937 TOPOGRAPHIC MAP

CONSULTANT



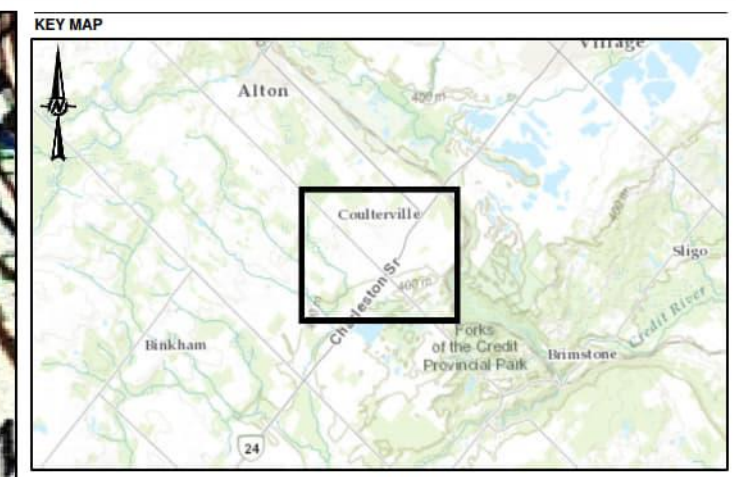
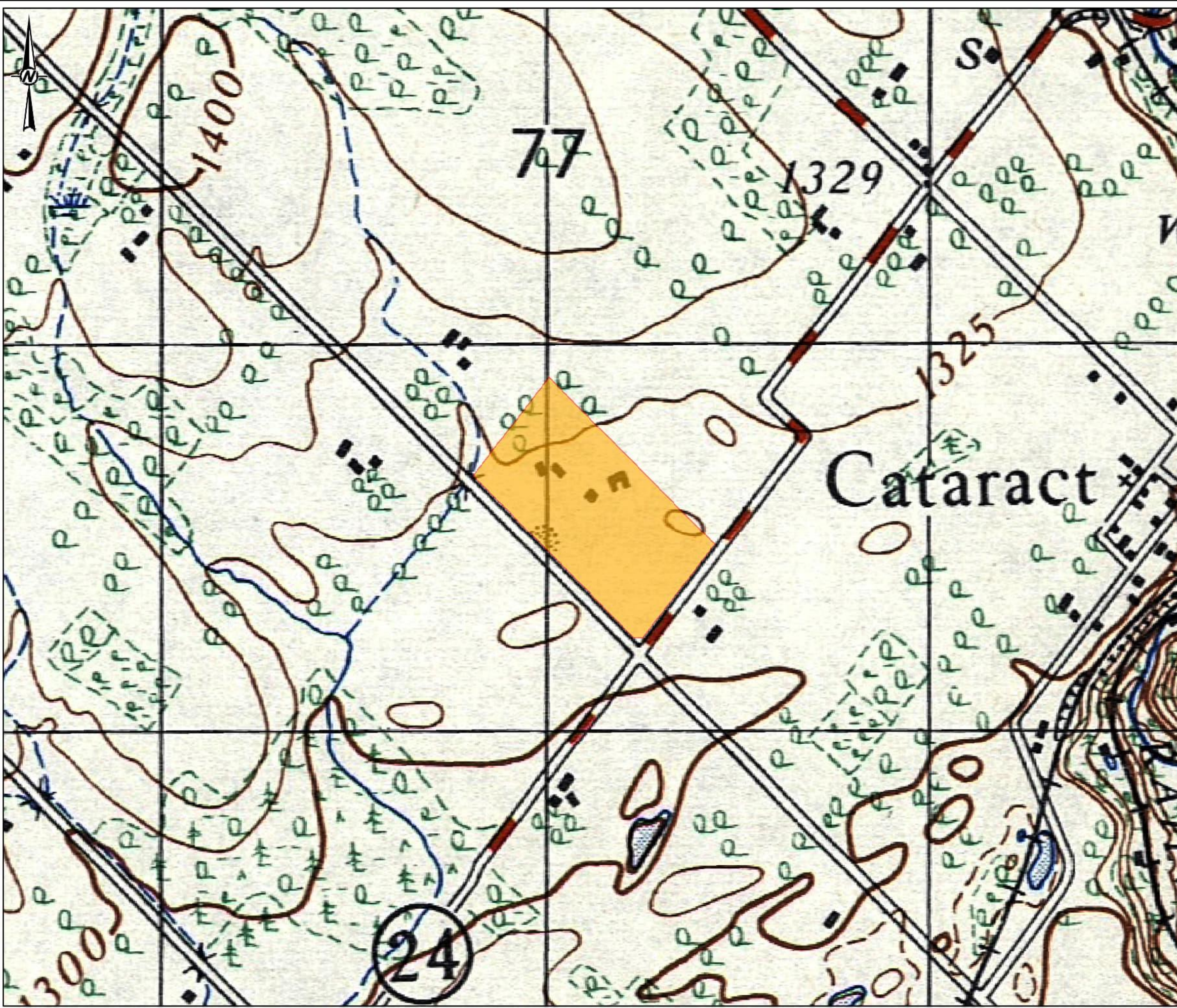
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CONTROL
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FIGURE
5



LEGEND
 STUDY AREA



NOTE(S)
 1. ALL LOCATIONS ARE APPROXIMATE

REFERENCE(S)
 1. ORANGEVILLE (EAST) ONTARIO. 1:50,000. MAP SHEET 040P16, ED. 1, 1952
 2. COORDINATE SYSTEM: NAD 1983 UTM ZONE 17N

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PROJECT
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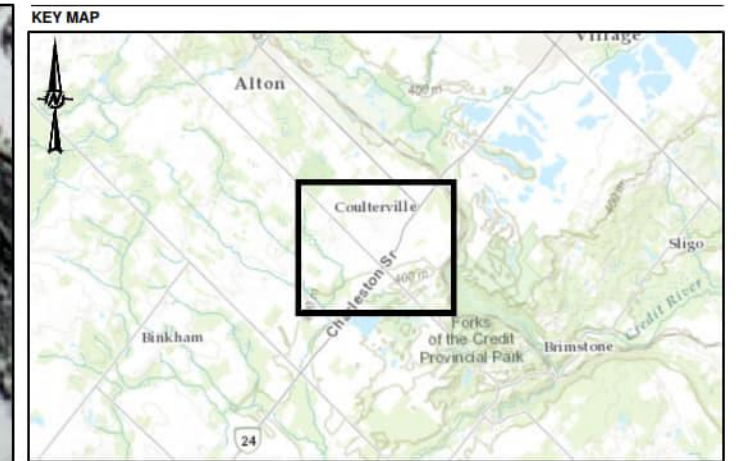
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 1952 TOPOGRAPHIC MAP

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	APPROVED	HM

PROJECT NO. 19129150 CONTROL 0049 REV. 0 FIGURE 6

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LEGEND
 STUDY AREA



NOTE(S)
 1. ALL LOCATIONS ARE APPROXIMATE

REFERENCE(S)
 1. SOUTHERN ONTARIO, 1954, 437801, ONTARIO. DEPARTMENT OF LANDS AND FORESTS
 2. COORDINATE SYSTEM: NAD 1983 UTM ZONE 17N

CLIENT
 CBM AGGREGATES, A DIVISION OF ST. MARYS CEMENT INC. (CANADA)

PROJECT
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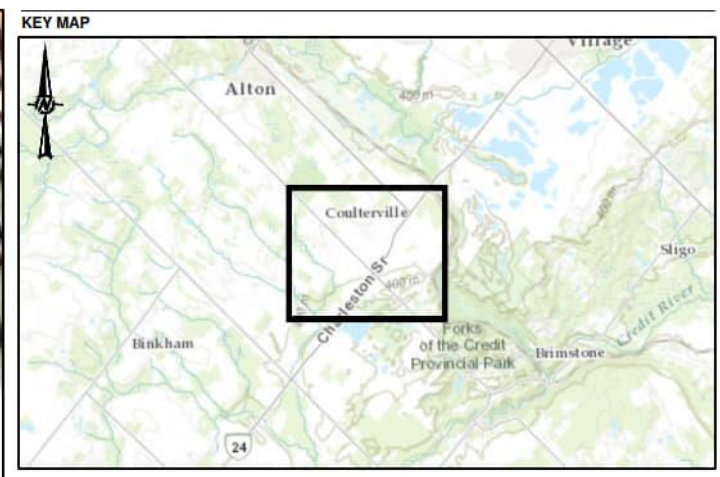
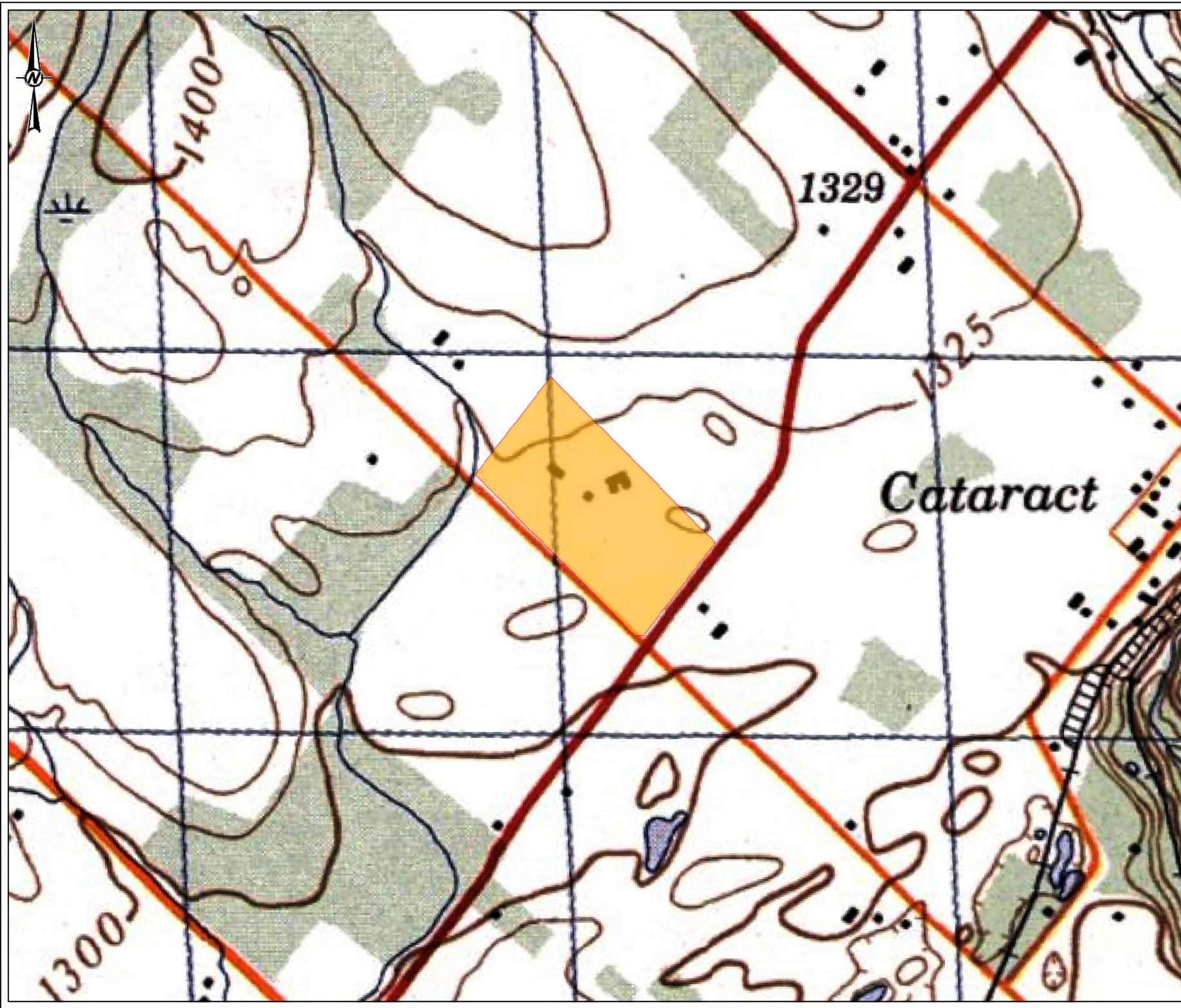
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PROJECT NO. 19129150	CONTROL 0049	REV. 0	FIGURE 7
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LEGEND
 STUDY AREA



NOTE(S)
 1. ALL LOCATIONS ARE APPROXIMATE

REFERENCE(S)
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 2. COORDINATE SYSTEM: NAD 1983 UTM ZONE 17N

CLIENT
 CBM AGGREGATES, A DIVISION OF ST. MARYS CEMENT INC.
 (CANADA)

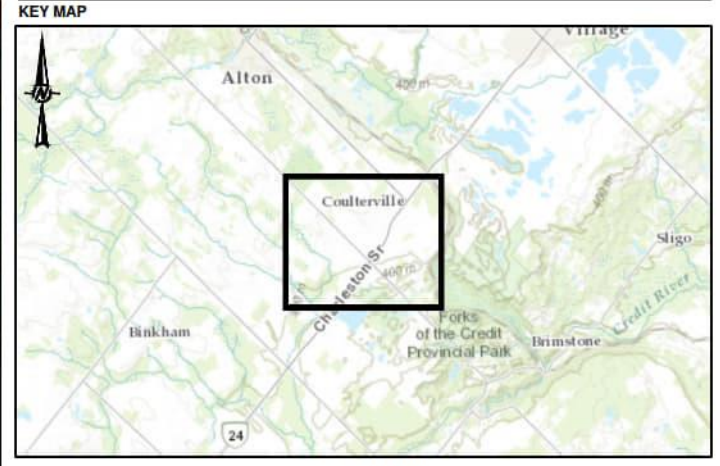
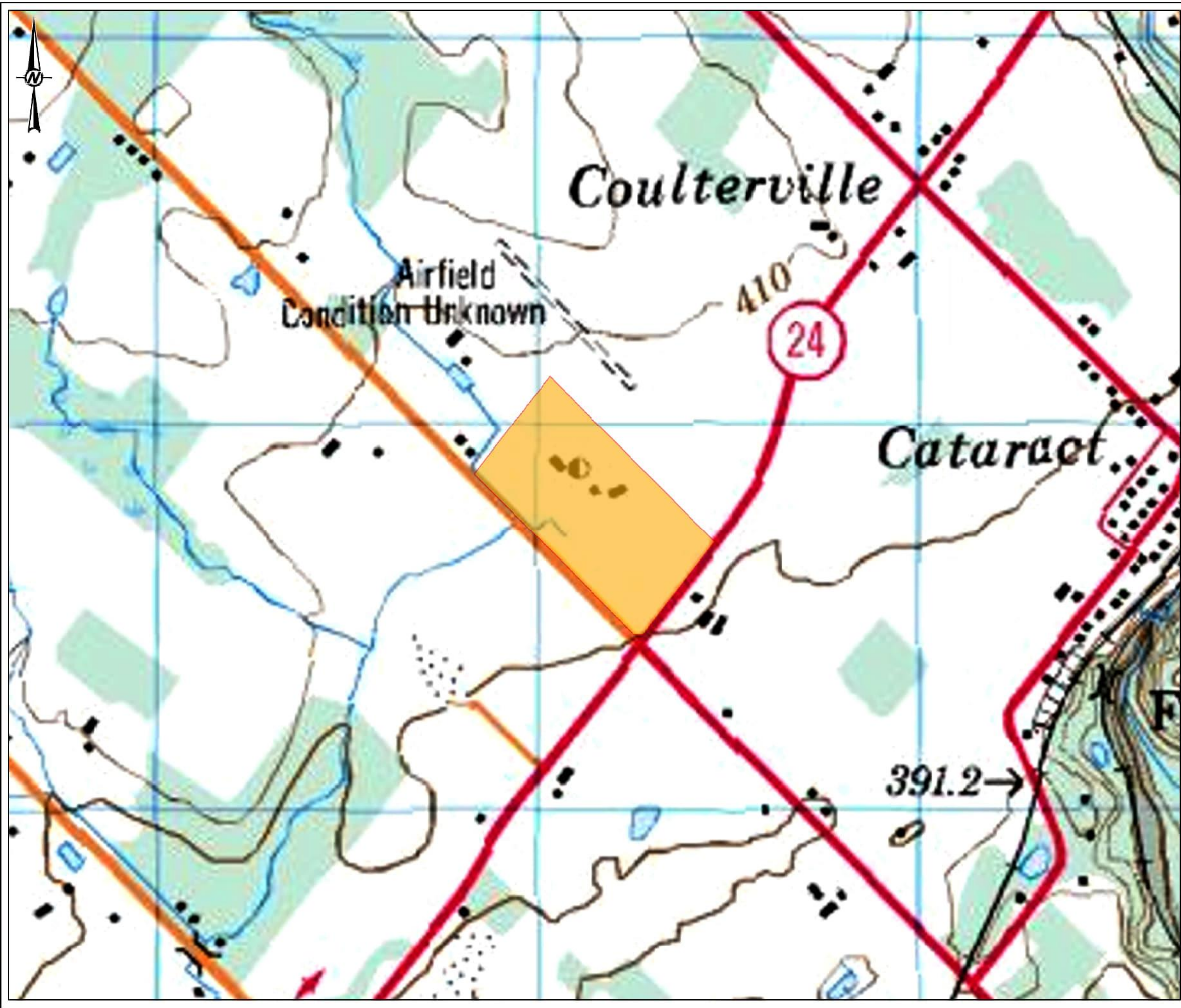
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TITLE
 1973 HISTORICAL TOPOGRAPHIC MAP

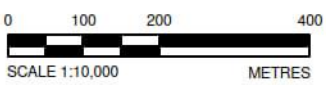
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PROJECT NO. 19129150	CONTROL 0049	REV. 0	FIGURE 8
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LEGEND
 STUDY AREA



NOTE(S)
 1. ALL LOCATIONS ARE APPROXIMATE

REFERENCE(S)
 1. ORANGEVILLE ONTARIO, 1:50,000, MAP SHEET 040P16, ED. 5, 1994
 2. COORDINATE SYSTEM: NAD 1983 UTM ZONE 17N

CLIENT
 CBM AGGREGATES, A DIVISION OF ST. MARYS CEMENT INC. (CANADA)

PROJECT
 CULTURAL HERITAGE IMPACT STATEMENT, 18501 MISSISSAUGA, TOWN OF CALEDON, REGIONAL MUNICIPALITY OF PEEL, ONTARIO

TITLE
 1994 HISTORICAL TOPOGRAPHIC MAP

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PROJECT NO. 19129150	CONTROL 0049	REV. 0	FIGURE 9
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Plate 1: 1985 aerial photograph showing farm complex



Plate 2: 1989 aerial photograph showing farm complex



Plate 3: 1996 aerial photograph showing farm complex



Plate 4: 1999 aerial photograph showing farm complex

4 EXISTING CONDITIONS

4.1 INFORMATION GATHERING

The Town of Caledon, Ontario Heritage Trust, and the MCM were consulted on March 27, 2023 to gather information on the Study Area.

Cassandra Jasinski, Heritage Planner at the Town of Caledon, confirmed receipt of the request on March 31, 2023 and indicated that she would provide materials they have on file.

Kevin Baksh, Acting Provincial Heritage Registrar at the Ontario Heritage Trust, confirmed on April 11, 2023 that the Trust does not have any additional information, background documents, or previous reports relating to the Study Area.

Karla Barboza, Team Lead of the Heritage Planning Unit at the MCM, confirmed on March 31, 2023 that no properties have been designated by the Minister within the Study Area and that there are no provincial heritage properties within or adjacent to the Study Area.

***UPDATE No. 1 (September 2025):** This HIA has been updated to address comments received on March 18, 2025. Additionally, since June 2024, WSP has been meeting with the Town monthly. As a result of the March 18th comments and these monthly meetings, the Town has shared archival photographs and resources pertaining to the property. Further discussions from these meetings centred around the designation of the property under Part IV of the Ontario Heritage Act, the potential need for a Heritage Easement Agreement, and the details and timing of proposed conservation measures. The updates made to this report as a result of these meetings can be found in Section 7.5 and Section 8.*

4.2 FIELD REVIEW RESULTS

A field review of the Study Area as part of the Cultural Heritage Report (WSP 2022) was undertaken on November 18, 2022, by WSP Cultural Heritage Specialist Chelsea Dickenson and Cultural Heritage Technician Robert Pinchin. Weather conditions during the field review were sunny with seasonally cool temperatures. A second field review was undertaken on May 10, 2023, by the same WSP staff. Weather conditions during the field review were sunny with seasonally cool temperatures.

4.2.1 LOCATION CONTEXT

The Study Area is on the northeast side of Mississauga Road, occupying the lot at the north corner of Mississauga Road and Charleston Sideroad. The surrounding area is generally agricultural and residential and the broader area has locations of aggregate extraction as well.

The properties in close proximity to the Study Area (1420 Charleston Sideroad, 18667 Mississauga Road, and 18722 Main Street) are rural agricultural and all listed on the Town's heritage register (Plate 1 to Plate 3). Historically, these properties were all granted to and owned by various members of the Cameron family in the 19th century.



Plate 5: Farmscape at 1420 Charleston Sideroad



Plate 6: Farmhouse at 18667 Mississauga Road



Plate 7: Farmscape at 18722 Main Street

4.2.2 LANDSCAPE CONTEXT

The approximately 50-acre Study Area features the original farmhouse complex built for Lot 16 including a farmhouse, two barns, six outbuildings, and eight silos (Figure 10 and Plate 4).

The farmhouse is accessed from Mississauga Road by a long, winding, gravel driveway which leads to the central building complex (Plate 5). Circulation routes extend from the driveway, throughout the complex, connecting each of the outbuildings and the agricultural fields. Two mature coniferous tree stands act as windbreaks for the farm complex (Plate 6). One tree stand extends parallel to Mississauga Road, oriented approximately northwest to southeast, positioned as the southwest boundary of the building complex. Imagery from 1996 shows this row as recently planted. The second row is oriented perpendicular to Mississauga Road, oriented approximately northeast to southwest, extending along the northwest boundary of the main residence and the northernmost outbuildings. This stand appears to include a mix of mature and young conifers. Hedgerows and treelines also delineate the agricultural fields within the Study Area. These agricultural fields appear to be typical of those found in southwestern Ontario and do not have unique attributes associated with them (Plate 7).



Plate 8: Study Area at 18501 Mississauga Road.



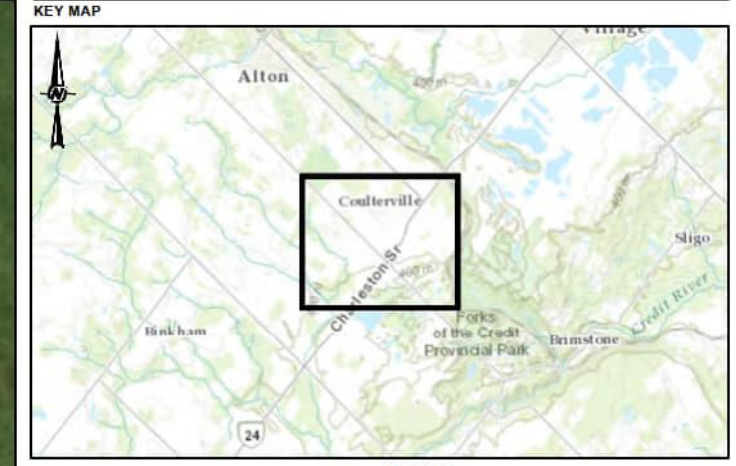
Plate 9: View from the driveway towards the farmhouse, mature vegetative windbreak, and barn.



Plate 10: View west across driveway and drive shed of two vegetative windbreaks.



Plate 11: View south across pasture and fields.



- LEGEND**
- STONE AND WHEEL FEATURE
 - CIRCULATION ROUTE
 - FENCING
 - BARN
 - DRIVEWAY
 - MAIN RESIDENCE
 - MATURE VEGETATIVE WINDBREAK
 - OUTBUILDING
 - SHED
 - SILO
 - VEGETATIVE WINDBREAK



NOTE(S)
 1. ALL LOCATIONS ARE APPROXIMATE

REFERENCE(S)
 1. CONTAINS INFORMATION LICENSED UNDER THE OPEN GOVERNMENT LICENCE - ONTARIO
 2. IMAGERY CREDITS: SOURCES: ESRI, HERE, GARMIN, INTERMAP, INCREMENT P CORP., GEBCO, USGS, FAO, NPS, NRCAN, GEOBASE, IGN, KADASTER NL, ORDNANCE SURVEY, ESRI JAPAN, METI, ESRI CHINA (HONG KONG), (C) OPENSTREETMAP CONTRIBUTORS, AND THE GIS USER COMMUNITY
 SOURCE: ESRI, MAXAR, EARTHSTAR GEOGRAPHICS, AND THE GIS USER COMMUNITY
 3. COORDINATE SYSTEM: NAD 1983 UTM ZONE 17N

CLIENT
 CBM AGGREGATES, A DIVISION OF ST. MARYS CEMENT INC.
 (CANADA)

PROJECT
 CULTURAL HERITAGE IMPACT STATEMENT, 18501 MISSISSAUGA, TOWN OF CALEDON, REGIONAL MUNICIPALITY OF PEEL, ONTARIO

TITLE
 EXISTING CONDITIONS AT 18501 MISSISSAUGA

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4.2.3 FARMHOUSE

The farmhouse is composed of three elements: the original main block, an enclosed porch or entryway addition, and a long rear (east) addition. These are described individually in the following subsections. The four elevations of the structure are shown in Plate 8 to Plate 12. The longest axis of the house (main block and rear addition) is oriented northeast-southwest at an atypical, approximate 65-degree angle to Mississauga Road.

To simplify the description, the southwest side (original formal entrance facing Mississauga Road) is described as the west elevation, and the northeast side (the present-day entrance in the entryway addition and gable end of the rear addition) is referred to as east elevation. The side facing the intersection of Mississauga Road and Charleston Sideroad is referred to as the south elevation while its opposite side on the northwest is referred to as the north elevation.



Plate 12: Oblique view of south and east elevations



Plate 13: East elevation



Plate 14: South elevation



Plate 15: West elevation



Plate 16: North elevation

4.2.3.1 MAIN BLOCK EXTERIOR

The original main block of the house is a one-and-a-half storey gable front house with a rectangular footprint. The house has a medium-pitched roof with boxed eave returns. The house has been re-clad in new board-and-batten style vinyl siding. According to the tenant, the house was originally timber framed and clad with clapboard siding. In the early 19th century, the clapboard was removed and replaced with Insulbrick. In the mid-late 20th century the Insulbrick was removed and polyurethane spray foam insulation was applied followed by the extant board and batten style vinyl siding. The tenant went on to state that the main block foundation is constructed of fieldstone and that during the mid-late 20th century polyurethane spray foam insulation was applied to the foundation exterior

which was then clad in 3/8 inch concrete asbestos sheets that currently line the foundation (Plate 19 and Plate 20). Interior basement access confirmed the use of fieldstone and timber frames as original construction materials.

The current entrance is on the east elevation, at the entryway addition. The entryway addition extends from the southeast portion of the main block and, according to the tenant, was enclosed in the 1920s. The entryway's shed roof extends from the main block roof at the same angle, giving the south gable end of the main block a saltbox-like profile. Also on the east elevation of the main block is a wide shed dormer that lights the main block's second level.

The south elevation features the gable end of the main block, which has four windows arranged with two larger windows on the main floor and two smaller on the second floor (Plate 13 and Plate 14). All four windows of this elevation appear to be modern replacements. The window closest to the addition on the main floor is slightly offset and square rather than rectangular, disrupting the symmetry of the fenestration, more commonly seen in early vernacular houses. The limit of the main block of the house can be identified on this elevation where the field stone veneer wainscoting of the addition ends.

The north elevation mirrors the south elevation with the same four window arrangement and similar asymmetrical placement (Plate 15). All four windows on the north elevation also appear to be modern replacements. The original form of the main block is apparent on the north elevation as the perpendicular addition does not integrate with the original main block as seen with the enclosed porch.

The west elevation is the original front (or formal) façade of the main block. Its central entrance (now covered by the small enclosed porch) is flanked on both sides by tall windows (Plate 16 and Plate 17). The enclosed porch that extends from the centre of the west elevation has a pediment style roof, the same board and batten siding as the main block on its lower portion, and tall windows on the upper portion on all three elevations. The entrance to the porch is on the south side (Plate 18).



Plate 17: South elevation.



Plate 18: Oblique view of south and west elevations



Plate 19: North elevation



Plate 20: North and west elevations



Plate 21: West elevation.



Plate 22: West elevation enclosed porch.



Plate 23: Exterior foundation



Plate 24: Exterior foundation

4.2.3.2 MAIN BLOCK INTERIOR BASEMENT

An unfinished basement is accessed from a central staircase. The basement is a rectangular shape that encompasses the footprint of the main block however only the southern half of the basement is accessible while the northern half is a dirt crawl space (Plate 21 and Plate 22). The basement walls are the exposed parged fieldstone foundation of the main block (Plate 23) and the flooring is poured concrete. On the south wall there is a six-pane fixed window set into the foundation walls. The window has a wooden frame, sill, and muntins (Plate 24). There are four visible hand-hewn timber floor joists running east-west across the main block. The timbers have been adzed on the bottom, and presumably the top as well, and the original bark remains on the sides (Plate 25). Polyurethane spray foam insulation has been applied between the timbers. A singular machine cut squared timber floor joist runs north-south along the eastern edge of the basement (Plate 26). This squared floor joist is supported by a metal jack. The tenant stated that the squared floor joist was added in the early-mid 20th century after the original timber floor joists were cut to make room for the furnace duct work.



Plate 25: View of basement from southeast corner



Plate 26: View of basement from southwest corner



Plate 27: Parged fieldstone foundation



Plate 28: Basement window



Plate 29: Hand hewn timber floor joist



Plate 30: Machine cut timber floor joist

MAIN FLOOR

The original entrance to the main block of the house is located on the west elevation of the building. A small enclosed porch has been built in the mid-late 20th century that encompasses the original front door (Plate 27). The original front door is a simple rectangular wooden design demonstrative of a vernacular interpretation of Georgian and Neoclassical styles (Plate 28). There are two five-pane sidelights flanking the entranceway. The main block is arranged in a central hall plan. Staircases to the basement and second storey are located centrally on an east/west axis spanning the width of the main block (Plate 29). Living spaces are located north and south of the stairwell.

Northwest of the stairwell is a parlour that has is being used as an office and storage space (Plate 30). In the parlour is a door that leads into a laundry room northeast of the stairwell (Plate 31). South of the stairwell there is an open concept living room and kitchen area (Plate 32). The tenant indicated that in the mid-20th century the kitchen was extended slightly east at the same time as the eastern addition was constructed.



Plate 31: Enclosed front porch on west elevation



Plate 32: Original front entrance



Plate 33: Central staircase



Plate 34: Parlour



Plate 35: Laundry room



Plate 36: Open concept living room and kitchen



Plate 37: Door providing access from parlour to laundry room



Plate 38: Basement door (left) and laundry entrance (right)

SECOND STOREY

The second storey is accessed from the central stairwell and leads to a landing and central hallway that runs parallel to the stairwell along its south side (Plate 33). At the top of the stairwell is a bathroom lit by the shed dormer (Plate 34). There are four bedrooms located on the second storey (Plate 35 to Plate 38). Two to the north of the stairwell and two to the south. Each bedroom features a singular window and sloping roof reflecting the one-and-a-half story massing of the main block. Some bedroom doors and hardware appear to be original. The windows have late-20th to early-21st century plastic frames but are set inside the older wood framing (Plate 39 and Plate 40).



Plate 39: Looking west across second storey landing



Plate 40: Second storey bathroom



Plate 41: Southwest bedroom



Plate 42: Northwest bedroom



Plate 43: Northeast bedroom



Plate 44: Master (southeast) bedroom



Plate 45: Original wood plank bedroom door



Plate 46: Bedroom door hardware



Plate 47: Original wood plank closet door



Plate 48: Master bedroom window



Plate 49: Second storey window

4.2.3.3 ENTRYWAY ADDITION

The tenant stated that the one-storey entryway addition on the east elevation of the main block was constructed in the mid 20th century. The entryway addition features a central glazed door flanked by a modern hung window on the south and a modern casement window on the north (Plate 44 and Plate 45). The addition is clad in the same board-and-batten vinyl siding as the main block and includes a fieldstone veneer wainscoting wrapping around the lower half, indicating where the addition meets the original main block (on the south elevation) (Plate 46).

Currently the entryway addition is used as mud room shared between the main block and the east addition, which houses a separate dwelling. The mud room does not encompass the full length of the entryway addition, rather just its north portion; the kitchen of the main residence extends eastwards from the original main block to occupy the southern portion of the entryway addition.



Plate 50: Main entrance on east elevation.



Plate 51: Porch addition detail.



Plate 52: Fieldstone veneer indicating the limit of porch addition on main block.

4.2.3.4 EAST ADDITION

A second addition on the north half of the east elevation extends perpendicular to the original main block and has a rectangular footprint, concrete slab footing, and a gable roof with a small extension on the north elevation of the addition (Plate 47 to Plate 50). The addition connects to the north portion of the east elevation of the original main block and the north limit of the entryway addition. This addition is accessed via an entrance on the south elevation and features modern vinyl or aluminum sheet siding, matching in colour to the board and batten style siding of the rest of the house, and modern sliding or hung windows on all elevations. The tenant reported that the east addition was constructed in the mid to late 20th century. Currently the east addition is being used as a separate dwelling.



Plate 53: South elevation.



Plate 54: South and east elevations.



Plate 55: East and north elevations.



Plate 56: North elevation

4.2.4 BARNs AND OUTBUILDINGS

Barn No. 1 is located to the northwest of the main complex, outside of the northeast-southwest vegetative windbreak, and is oriented northwest-southeast. This barn is part of a smaller outbuilding complex within the main farm complex that includes two concrete silos, a steel Quonset addition on the southeast elevation of the barn, and a corrugated metal clad addition with a saltbox roof on the southwest elevation (Plate 51). Barn No. 1 features field stone foundations and a gable roof and, although the interior was not accessed due to safety concerns, timber framing was observed through holes in the wood plank siding (Plate 52). The earth ramp on the northeast elevation of Barn No. 1 provides access to the structure's central bay on the second level. The style of Barn No. 1 conforms to the gable type Central Ontario style barn defined by Ennals (1972).

Barn No. 2 is oriented northeast-southwest and sits atop poured concrete foundations. It has vertical wood plank siding and a metal gambrel roof (Plate 53 to Plate 55). Like Barn No. 1, Barn No. 2 was not accessed but similarly observed to be timber framed. The built-up ramp on the east elevation is supported by concrete wingwalls. One fixed window is contained within the north wall of the ramp, with a wooden sill, frame, and muntins. Three wood framed window openings in the concrete foundation level were placed along the length of the west elevation and flanked by two former entryways to the lower level, which are now blinded (Plate 56 to Plate 57). These openings are all missing their windows. One window is present on each of the remaining three elevations. The barn has been painted red, which is faded and peeling but still visible. Two large white painted diamond shapes decorate the

sliding doors at the top of the ramp (Plate 58). The style of Barn No. 2 conforms to the gambrel type Central Ontario style barn defined by Ennals (1972).

Several modern outbuildings are located throughout the building complex, including two wood sheds (Outbuildings No. 1 and 5), one small shed, three metal storage sheds (Outbuildings No. 2, 3, and 4), and six metal silos.

Outbuilding No. 1 is the southern most building of the complex. This wood drive shed is located at the top of the driveway, to the south of the residence. This wood drive shed features a metal saltbox style roof and concrete foundations (Plate 59). Outbuilding No. 1 is of unknown framing and was constructed prior to 1985. Based on the style, it is possible that this structure dates to the early or mid-20th century.

Outbuilding No. 2 is located to the north of the residence, between the house and Outbuilding No. 3. This small aluminum prefabricated shed has a gable roof and large, barn style, doors, built atop a poured concrete pad (Plate 60).

Outbuilding No. 3 is located to the north of Outbuilding No. 2, between Outbuildings No. 2 and 4. This large aluminum shed features a gable roof and is constructed on a poured concrete pad (Plate 61). Based on aerial photographs, this was constructed between 1996 and 1999.

Outbuilding No. 4 is the northernmost building of the complex, located to the northwest of Outbuilding No. 5. This large aluminum shed features a gable roof and is constructed on a poured concrete pad (Plate 62). Based on aerial photographs, this was constructed between 1985 and 1989. A metal silo is located at the rear, on the northeast side.

Outbuilding No. 5 is located to the north of Outbuilding No. 3, between Outbuildings No. 3 and 4. This wood shed features a gable roof and a small addition on the rear (Plate 63). A metal silo is located at the rear, on the northeast side.

A small frame shed is located to the north of the residence (Plate 64). This shed is of 2x4 frame construction with plywood and aluminum siding and a saltbox style roof. The shed is supported by a wood frame base.

Four additional silos are located between Outbuildings No. 3 and 4 (Plate 65). The Study Area also includes a number of temporary structures (chicken coops and storage structures) which are recent additions to the property.

A wagon wheel and upright placed stone are positioned together at the top of the driveway, to the south of the house (Plate 66).



Plate 57: North and west elevation of Barn No. 1.



Plate 58: Detail of Barn No. 1 fieldstone foundations.



Plate 59: North and west elevation of Barn No. 2.



Plate 60: South and east elevations of Barn No. 2.



Plate 61: Concrete foundation of Barn No. 2.



Plate 62: Barn No. 2 window detail.



Plate 63: Barn No. 2 wingwall window.



Plate 64: Painted diamond pattern on east elevation ramp doors of Barn No. 2.



Plate 65: North and east elevation of Outbuilding No. 1.



Plate 66: Outbuilding No. 2.



Plate 67: Outbuilding No. 3.



Plate 68: Outbuilding No. 4.



Plate 69: Outbuilding No. 5.



Plate 70: Frame shed



Plate 71: Additional silos between Outbuildings No. 3 and 4.



Plate 72: Wagon wheel and stone feature.

4.2.5 INTERPRETATION

Background research indicates that the original main block of the farmhouse was constructed between 1836 and 1848 for John Cameron (see Section 3.4.3). The use of fieldstone for the main block foundation was a common 19th century construction method that utilized fieldstones found in the land clearing process (Middleton 2011). The 1861 census enumerates a frame house on the property which is consistent with the tenant's statement that the original structure was timber framed and clad in clapboard. The use of hand-hewn logs for floor joists further evidences this interpretation and was a prevalent construction method until balloon and platform framing, was popularized in the mid-late 19th century (Fram 2003). The current tenant reports that the entryway addition was built in the mid-20th century, and it predates 1985, as it is visible in an aerial photograph from that year. It is likely that the dormer extension was constructed at this time as well. The final, and most recent, addition to the house is represented by the perpendicular addition, constructed in the late 20th century. Despite later alterations to the house, the limit and footprint of the original main block are clearly identifiable. An interesting feature of the farmhouse is its orientation at an angle to Mississauga Road, rather than perpendicular to it, as is more common.

A review of the Town of Caledon's Heritage Register indicates that 21 out of 135 properties designated under Part IV of the *Ontario Heritage Act* (15.5%), and 39 out of 1105 properties which are Listed (0.04%), date to before 1850 (Town of Caledon 2023). This indicates that the early 19th century farm complex within the Study Area may be a rare surviving example of a pre-1850 structure in the Town of Caledon.

Rural farmhouses built during the first half of the 19th century tended to follow a more vernacular style rather than conform to any one architectural style however, many elements of early-mid 19th century architectural styles are present. The main block's horizontal proportions, moderately pitched roof, and symmetrical fenestration are seen in Georgian and Neoclassical architecture. The centre plan layout is also demonstrative of early 19th century Ontario farmhouses. Based on the construction materials, construction methods, and architectural style, the farmhouse was constructed in the early-mid 19th century.

Barns No. 1 and 2 are representative examples of the Central Ontario style (Plate 67). This type of barn can have either a gable or gambrel roof. The gable-type was slowly supplanted across southern Ontario by those built with a gambrel roof. This transition began in the 1880s but the gambrel roof variety did not completely replace the gable-type as the preferred style until well into the first half of the 20th century (Ennals 1972 and McIlwraith 1997). Framing the barns used traditional joinery at least as old as the 18th century, but into the 1920s still had not been supplanted by balloon framing in published theory or on the farm (Glassie 1974; Vlach 2003). Timber-framing itself therefore provides no indication of date, as across southern Ontario barns were constructed in the first two decades of the 20th century in a manner no different than they had in the previous half century, some even rejecting the newly available concrete block to build foundations in favour of the traditional coursed rubble. As farmer and

photographer Sylvester Main documented in Beverly Township (now City of Hamilton), members of the local farming community were communally building large gable-roofed timber-frame barns on stone foundations in the 1910s that today would be difficult to tell apart from earlier 19th century buildings (Pullen 2004). As late as 1952, there were even some (who were not Old Order Mennonites) who still chose to build in the old fashion (McIlwraith 1999). The fieldstone foundation and gable style roof indicate that Barn No. 1 was constructed prior to Barn No. 2, most likely in the late 19th to early 20th century. It is possible that Barn No. 1 was constructed earlier, in the mid-19th century, however given the style, scale, and similarity to nearby barns that have known dates it is unlikely. One of the barns located at 18667 Mississauga Road is known to have been raised in 1898 and is nearly identical to Barn No. 1. Barn No. 2 dates to the early 20th century as evidenced by the gambrel style roof and concrete foundations. The barns are not contemporaneous with the farmhouse and represent an evolution of the farm complex over time.

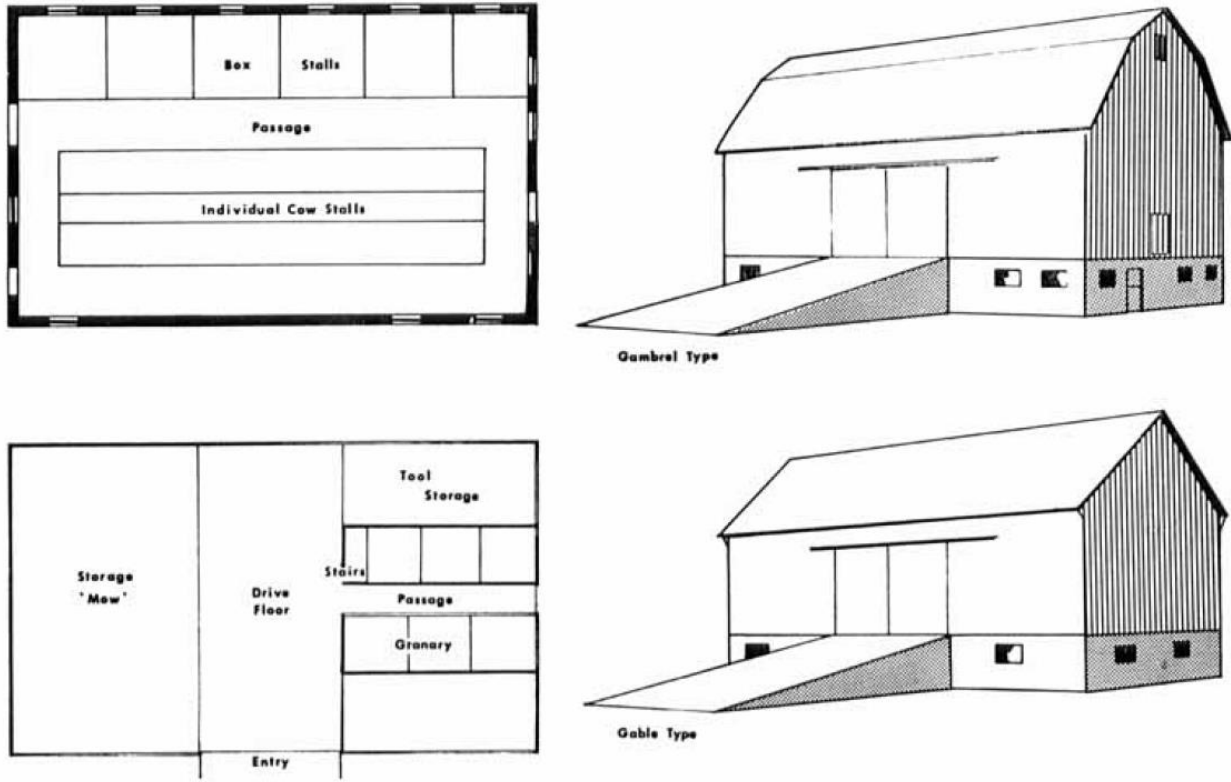


Plate 73: The Central Ontario Barn, as defined by Ennals (1972: 257) and second level plan

4.3 ANALYSIS OF PHYSICAL CONDITIONS AND HERITAGE INTEGRITY

4.3.1 PHYSICAL CONDITION

Table 3 provides a summary of the physical conditions of the farm complex in the Study Area using criteria adapted from a checklist developed by Historic England (Watt 2010: 365-361) and list in Fram’s 2003 *Well-Preserved: The Ontario Heritage Foundations Manual of Principles and Practice For Architectural Conservation* (Fram 2003). Note that these observations are based on surficial inspection only and should not be considered as a structural engineering assessment.

Table 3: Analysis of Physical Conditions

ELEMENT	OBSERVED CONDITIONS		
	FARMHOUSE	BARN NO. 1	BARN NO. 2
General Structure	<ul style="list-style-type: none"> Overall, the farmhouse appears to be in good condition. 	<ul style="list-style-type: none"> Overall, the barn appears to be in fair condition. 	<ul style="list-style-type: none"> Overall, the barn appears to be in fair to good condition.
Roof	<ul style="list-style-type: none"> Appears to be in acceptable condition for all building sections. 	<ul style="list-style-type: none"> Corrugated metal roof appears to be in good condition, some weathering and warping observed along the driplines. 	<ul style="list-style-type: none"> Corrugated metal roof appears to be in good condition.
Rainwater Disposal	<ul style="list-style-type: none"> All gutters appear to be in good condition. 	<ul style="list-style-type: none"> n/a 	<ul style="list-style-type: none"> All gutters appear to be in good condition.
Exterior Elements (Walls/Foundations/Chimneys, etc.)	<ul style="list-style-type: none"> Exterior is clad in modern vinyl siding which appears to be in good condition. All exterior elements visible during fieldwork appear to be in good condition. 	<ul style="list-style-type: none"> Wood plank siding is weathered throughout and showing signs of deterioration (cracking, warping, and missing planks). Newer wood and plywood board indicates areas where repairs have been made. Some mold noted on lower aspects where moisture was retained. The exterior aspect of the stone foundations appears to be in good condition, with intact mortar and minor efflorescence. 	<ul style="list-style-type: none"> Wood plank siding is weathered throughout and deteriorating in some areas. Damaged or missing planks are evident on all elevations. Paint has faded and is cracked and peeling. Some cracking and spalling of concrete foundation and flaking and peeling of the paint but foundations appear to be generally in good condition.
Windows and Doors	<ul style="list-style-type: none"> Windows and doors of the original main block appear to be modern replacements and are in good condition. Windows and doors of the entryway and east additions are modern and in good condition. 19th century interior doors and hardware on main and second floor are in good condition. 	<ul style="list-style-type: none"> Window on the north elevation is recycled from a truck bed cover and is surrounded by new wood. 	<ul style="list-style-type: none"> All window openings are framed in wood. Windows are missing along west elevation. Intact windows have unbroken panes and painted wood frames and muntins which show evidence of degradation in that the paint is cracked and peeling but otherwise are in fair to good condition. Painted sliding doors on west elevation shows evidence of wood deterioration (splitting and cracking) and paint fading, cracking, peeling. Painted diamond pattern has faded but is still identifiable. Sliding rail is rusted but the hardware appears to be in working order.
Internal Roof Structure/Ceiling	<ul style="list-style-type: none"> Physical condition of internal roof structure unknown as the attic was not observed during the field review. Minor cracks and peeling paint observed on second floor ceiling. 	<ul style="list-style-type: none"> Unobservable during the site visit as the property inspection assessed the exterior of the barn only. 	<ul style="list-style-type: none"> Unobservable during the site visit as the property inspection assessed the exterior of the barn only.
Floors	<ul style="list-style-type: none"> Carpeting, linoleum, and vinyl plan flooring cover the main and second storey floors within the main block. Several cracks were observed in the linoleum. 	<ul style="list-style-type: none"> Unobservable during the site visit as the property inspection assessed the exterior of the barn only. 	<ul style="list-style-type: none"> Unobservable during the site visit as the property inspection assessed the exterior of the barn only.
Stairways/Galleries/Balconies	<ul style="list-style-type: none"> Stairways and second floor railing appear to be in good condition. 	<ul style="list-style-type: none"> Unobservable during the site visit as the property inspection assessed the exterior of the barn only. 	<ul style="list-style-type: none"> Unobservable during the site visit as the property inspection assessed the exterior of the barn only.
Interior Decorations/Finishes	<ul style="list-style-type: none"> Interior finishes appear to be in good condition. 	<ul style="list-style-type: none"> Unobservable during the site visit as the property inspection assessed the exterior of the barn only. 	<ul style="list-style-type: none"> Unobservable during the site visit as the property inspection assessed the exterior of the barn only.
Fixtures & Fittings	<ul style="list-style-type: none"> Many fixtures are modern replacements. All fixtures are in good condition. 	<ul style="list-style-type: none"> Unobservable during the site visit as the property inspection assessed the exterior of the barn only. 	<ul style="list-style-type: none"> Unobservable during the site visit as the property inspection assessed the exterior of the barn only.
Building Services	<ul style="list-style-type: none"> Services were active at the time of site visit. 	<ul style="list-style-type: none"> The property is currently inhabited, and services are presumed to be active at the time of site visit. 	<ul style="list-style-type: none"> The property is currently inhabited, and services are presumed to be active at the time of site visit.
Site & Environment	<ul style="list-style-type: none"> Vegetation around the house generally well kept and unlikely to be physically affecting the structure. No areas of standing water observed. 	<ul style="list-style-type: none"> Minimal vegetation around the barn, what is present is generally well kept and unlikely to be physically affecting the structure. No areas of standing water observed. 	<ul style="list-style-type: none"> Minimal vegetation around the barn, what is present is generally well kept and unlikely to be physically affecting the structure. No areas of standing water observed.

4.3.2 HERITAGE INTEGRITY

In the 2006 *Heritage Property Evaluation: A Guide to Listing, Researching, and Evaluating Cultural Heritage Property in Ontario Communities*, the MCM stresses that a property need not be in its original condition to have CHVI though stresses the concept of integrity:

“Integrity is a question of whether the surviving physical features (heritage attributes) continue to represent or support the cultural heritage value or interest of the property.”

(MCM 2006a: 26)

The MCM expands on this concept of integrity in their 2014 *Standards and Guidelines for Conservation of Provincial Heritage Properties, Heritage Identification & Evaluation Process* to include landscape features and references the *Ontario Heritage Tool Kit* and the 2008 *US National Park Service Info Bulletin: VIII. How to Evaluate the Integrity of a Property* as potential guidance documents (MCM 2014, USDI 2008). The latter source identifies integrity as “*the ability of a property to convey its significance*” (USDI 2008: 1-2) and defines this within the seven aspects of integrity: Location, Design, Setting, Materials, Workmanship, Feeling, and Association. Based on this definition, integrity can only be judged once the significance of a place is known (USDI 2008: 1-2).

Other guidance documents reviewed as part of this assessment define integrity as the “wholeness” or “honesty” of a place and examines the subsequent effects of time and change on the site’s cultural heritage value (Drury and McPherson 2008:45). Similarly, Kalman’s 1979 *Evaluation of Historic Buildings* criteria for “Integrity” (“Site”, “Alterations”, and “Condition”) are less specifically linked to significance, so have been used here to determine the Study Area’s level of heritage integrity (Table 4). This analysis was also considered when evaluating the Study Area for CHVI. The associated survival percentage and rating is based on the following scale:

- Poor = 0-20%
- Fair = 21-40%
- Good = 41-60%
- Very Good = 61-80%
- Excellent = 81-100%

4.3.3 RESULTS

Based on the analysis of physical conditions and heritage integrity presented in Table 3 and Table 4, it was found that the farmhouse is in very good physical condition and has a “good” (60%) level of heritage integrity.

Table 4: Analysis of Heritage Integrity

ELEMENT	ORIGINAL MATERIAL/TYPE	ALTERATION	SURVIVAL (%)	RATING	COMMENT
Setting	Property located within an agricultural context, bounded by agricultural farm complexes on all sides. Original adjacent properties include 1420 Charleston Sideroad (to the northeast) and 18667 Mississauga Road (to the northwest).	Minimal alterations to the general setting.	95	Excellent	The area retains most of its original agricultural and rural character. The Listed properties which would have historically shared boundaries with the farmscape at 18501 Mississauga Road are unaltered.
Site Location	Set back from Mississauga Road by approximately 185 m.	No alterations to the site location.	100	Excellent	No additional comments
Footprint	Original structure has a rectangular footprint.	20th century additions on the original structure have expanded its footprint.	75	Very Good	While additions to the front of the house have expanded the footprint to the south, the original footprint is easily identifiable and delineated.
Wall	Original main block is timber framed and was clad with wood clapboard.	Reclad in modern siding materials over the 20th century. Currently clad in vinyl board and batten style siding.	50	Fair	Timber framing remains but original clapboard has been removed.
Foundation	Fieldstone.	Polyurethane spray foam insulation and 3/8-inch concrete asbestos sheets.	60	Good	Original foundations are intact, though have been altered through the addition of spray foam insulation and concrete asbestos sheets.
Exterior Doors	Unknown	Enclosed additions to both access points on the west (former formal entrance) and east elevations. The former formal entry door has been replaced.	0	Poor	No additional comments
Windows	Unknown.	Observations during the site visit indicated that all windows have been replaced with modern windows. Window openings maintain their original arrangement.	20	Poor	No additional comments
Roof	Gable roof.	Roofline has been extended to accommodate entryway addition and dormer on east elevation.	80	Excellent	Original roof shape has been generally maintained.
Chimneys	Unknown.	It is possible that all original chimneys have been removed.	n/a	n/a	No additional comments
Water Systems	Unknown.	Unknown.	n/a	n/a	No additional comments
Exterior Decoration	Original decorative architectural elements including: - Symmetrical fenestration - Side gable form	Windows have been replaced and some window openings may have been altered.	50	Good	Window and entryway locations mostly retained.
Exterior Additions	Original main block constructed between 1836 and 1848.	20th century additions: - Entryway addition - Perpendicular addition	80	Very good	While additions to the front of the house have expanded the house to the south, the original main block is easily identifiable and delineated. The south, west, and north elevations are largely intact in terms of form.
Interior Plan	Core structure within original main block consists of a rectangular floor plan.	Side and entryway additions on the east elevation and small porch addition on the west elevation have expanded the main floor.	75	Very good	Although the original floorplan of the ground floor has been expanded with east and west elevation additions, the original rectangular footprint is easily identifiable.
Interior Walls/Floors	Plaster walls. Unknown flooring.	Carpet and linoleum flooring throughout the main and second floors of the original main block. Wallpaper has been added to the main floor.	50	Good	Plaster walls appear to be mostly intact, though wallpaper obscured some walls of the main floor. Unknown whether the original flooring is extant beneath the carpets and linoleum.
Interior Trim	Wooden baseboards, door, and window trim.	Existing original wood trim has been painted. Many rooms have updated baseboards and trim. Second floor trim has a higher retention of original trim around windows and doors.	40	Fair	No additional comments
Interior Features	Wood four-panel doors on main floor. Wood panel bedroom and closet doors on second floor.	Most interior doors have been replaced with modern prefabricated panelled or accordion style doors.	40	Fair	Two original wood doors remain on the main floor. Wood panel bedroom and closet doors remain intact on the second floor.
Landscape features	Long winding driveway, mature vegetative windbreak, and surrounding agricultural fields.	Minimal alterations to the mature landscape features.	95	Excellent	No additional comments
Average of Rate of Change/Heritage Integrity			61	Very Good	Rating of very good is based on original element survival rating between 61-80%

5 EVALUATION OF CULTURAL HERITAGE VALUE OR INTEREST

5.1 ONTARIO REGULATION 9/06

The criteria for determining CHVI of a property at a local level are set out in O. Reg. 9/06 of the *Ontario Heritage Act*. A property may be worthy of listing under the *Ontario Heritage Act* if it meets one or more of criteria of O. Reg. 9/06, and designation under Part IV of the *Ontario Heritage Act* if it meets two or more criteria.

The Study Area was evaluated using the criteria for CHVI prescribed in O. Reg. 9/06. Table 5 provides a summary of the evaluation, and a discussion of the evaluation is provided below.

Table 5: Evaluation of Cultural Heritage Value or Interest

CRITERIA	EVALUATION OUTCOME
1. Is a rare, unique, representative or early example of a style, type, expression, material or construction method	✓
2. Displays a high degree of craftsmanship or artistic merit	✗
3. Demonstrates a high degree of technical or scientific achievement.	✗
4. Has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community.	✗
5. Yields or has the potential to yield, information that contributes to an understanding of a community or culture	✗
6. Demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community	✗
7. Is important in defining, maintaining or supporting the character of an area	✓
8. Is physically, functionally, visually or historically linked to its surroundings	✓
9. Is a landmark	✗

5.1.1 DESIGN OR PHYSICAL VALUE

The main block of the farmhouse is a one-and-a-half storey, vernacular style residence with a rectangular, central hall plan. The use of hand-hewn timbers for floor joists and parged fieldstone foundation is demonstrative of early-mid 19th century construction techniques. The flat façade, symmetrical façade fenestration, and neoclassical wood frame original entrance is indicative of a vernacular interpretation of the neoclassical style. The farmhouse retains most of its original architectural form and structure. An analysis of the composition of the Town of Caledon's Heritage Register indicates that the property is a rare surviving example of an early 19th century farmhouse (Criterion 1). The two barns are not contemporaneous to the farmhouse and are late 19th to early 20th century additions to the Study Area. These additions represent the evolution of the Study Area over time and served to support the continued use of the farm as the building complex evolved over the 19th and 20th centuries. While the barns are representative of the Central Ontario style, they are not linked to the farmhouse's value as a rare surviving example of a mid-19th century farmstead.

While the core of the Study Area is a representative example of a 19th century farm complex, the structures and landscape components do not display a high degree of craftsmanship or artistic merit (Criterion 2). Similarly, there is no evidence that any of the built or landscape components on the property display a high degree of technical or scientific achievement (Criterion 3).

Accordingly, the Study Area meets Criterion 1 of O. Reg. 9/06 and has design/physical value related to the vernacular farmhouse. The farmhouse is a rare surviving early example of this architectural style.

5.1.2 HISTORICAL OR ASSOCIATIVE VALUES

The property does not have historical value or associative value. The Study Area is historically linked with the Cameron family, who farmed Lot 16 from the early 19th century. While they are an early farming family in the community, no significant contributions to the community were identified. For Criterion 4 to be met, the property must meet two tests. First, the association is direct, and second, it is significant to the community. This means that the theme, event, belief, person, activity, organization, or institution has made a strong, noticeable, or influential contribution to the evolution or pattern of a settlement and development in the community (MCM 2014: 15-16). Background research has demonstrated that the Study Area has no direct association with a theme, event, belief, person, activity, organization, or institution that is significant to a community (Criterion 4).

There is no evidence to suggest the Study Area yields or has the potential to yield, information that contributes to an understanding of a community or culture (Criterion 5).

There is no documentary evidence that indicates a specific architect, artist, builder, or designer was involved in the design or construction of this structure. As such, the property does not demonstrate or reflect the work or ideas of an architect, artist, builder, designer, or theorist who is significant to a community (Criterion 6).

Accordingly, the Study Area does not meet Criteria 4-6 of O. Reg. 9/06 and does not have known historical/associative value.

5.1.3 CONTEXTUAL VALUE

The house in the Study Area is closely tied, both physically and historically, to the surrounding properties. The Study Area is one of several 19th-century farm complexes in the area that are either listed on the Town of Caledon's heritage register or identified on the Town's Built Heritage Resource Inventory of Pre-1946 Structures. Similar to other properties in the vicinity, the Study Area has a long driveway leading to a small complex of structures that includes a farmhouse, barns and outbuildings, and mature vegetation. These properties collectively create a rural landscape that retains something of its 19th-century agricultural land use. As a 19th century farm complex, the spatial organization and mix of structural elements in the Study Area maintain and support the rural agricultural character of the wider area (Criterion 7).

The Study Area is historically connected to other properties in the immediate vicinity that were owned by members of the Cameron family through the 19th and early 20th centuries. These properties are 1420 Charleston Sideroad (built for John Cameron's grandson, George), 18667 Mississauga Road (built for John's son, Duncan Sr.), and 18722 Main Street (built for Duncan Sr.'s son, James) (Criterion 8).

The property is not known to be a landmark in the community given its rural location, setback from the ROW, and low massing in the surrounding rural landscape (Criterion 9).

Accordingly, the Study Area meets Criteria 7 and 8 of O. Reg. 9/06 and has contextual value related to the connections to nearby heritage properties that were also historically linked with the Cameron family.

5.1.4 SUMMARY

Based on a review of background documents, community engagement and property inspection it was determined that the Study Area meets three criteria of O. Reg. 9/06 of the *Ontario Heritage Act* (Criteria 1, 7, and 8), indicating that this property has CHVI at a local level and is eligible for designation under Part IV of the *Act* as a Built Heritage Resource. The Study Area was not found to be a CHL since the heritage attributes of the property are substantially related to the farmhouses. Based on this evaluation, WSP has drafted a Statement of CHVI.

5.2 STATEMENT OF CULTURAL HERITAGE VALUE OR INTEREST

5.2.1 DESCRIPTION OF PROPERTY

The property at 18501 Mississauga Road in the Town of Caledon features an early to mid-19th century farm complex, including a farmhouse, a late 19th century gable-roof type Central Ontario style barn, an early 20th century gambrel-type Central Ontario style barn, and mature treelines. The farmhouse is a one-and-a-half storey vernacular style house, constructed between 1836 and 1848 and altered through 20th century additions.

5.2.2 PROPOSED STATEMENT OF CULTURAL HERITAGE VALUE OR INTEREST

The property at 18501 Mississauga Road has design value as a representative and rare example of an early 19th century farmhouse in the Town of Caledon. Built between 1836 and 1848 for John Cameron, the one-and-a-half storey, vernacular style residence is a rare surviving example of an early 19th century farmhouse in the community. A late 19th century barn with fieldstone foundations and a gable roof is located to the northwest of the farmhouse and an early 20th century barn with concrete foundations and a gambrel roof is located to the east. These Central Ontario style barns represent the evolution of the Study Area over time and served to support the continued use of the farm as the building complex evolved over the 19th and 20th centuries.

As a 19th century farm complex, the spatial organization and mix of structural elements at 18501 Mississauga Road maintain and supports the rural agricultural character of the wider area. The farmhouse is situated in an agricultural or rural setting, nestled among several 19th century farm complexes in close proximity, most of which are listed on the Town of Caledon's Heritage Register. Many of these properties were granted to and owned by various members of the Cameron family in the 19th and early 20th centuries. These properties, at 18501 Mississauga Road (built by John Cameron and passed to his son James), 18667 Mississauga Road (built shortly after by John's son, Duncan Cameron Sr.), 18722 Main Street (built later, by Duncan Sr.'s son, James), and 1420 Charleston Sideroad (built later, by John's grandson, George), are physically and historically linked to each other and the Cameron family. The house, barn complex, fieldstone walls, and mature vegetation on the property are both physically and historically linked to each other and physically and historically linked to their surroundings.

5.2.3 HERITAGE ATTRIBUTES

Identification of heritage attributes is based on exterior examination of the structure. Heritage attributes should be confirmed with interior inspection and refined during preparation of the Heritage Conservation Plan. At present, heritage attributes that contribute to the CHVI of the property:

- Residence:
 - One-and-a-half storey original main block form with rectangular floor plan, gable roof, and asymmetrical fenestration.
 - Central hallway floor plan
 - Vernacular Neoclassical wood frame original front entrance way
 - Hand hewn timber floor joists
 - Parged fieldstone foundation
- Landscape elements that generally support the CHVI of the property, including:
 - Mature vegetation
 - Coniferous windbreaks around the house, perpendicular to Mississauga Road, in a northeast to southwest orientation, to the northwest of the main building complex.
 - The barns are late 19th to early 20th century additions to the farm complex and represent evolved elements of the property that support the farmhouse.

6 IMPACT ASSESSMENT

The MCM InfoSheet #5 provides guidance on how to complete impact assessments for provincial heritage properties (MCM 2006b). This assessment considers two categories of impacts:

- **Direct Impact:** A permanent or irreversible negative affect on the CHVI of a property that results in the loss of a heritage attribute. Direct impacts include destruction or alteration.
- **Indirect Impact:** An impact that is the result of an activity on or near a cultural heritage resource that may adversely affect the CHVI and/or heritage attributes of a property. Indirect impacts include shadows, isolation, direct or indirect obstruction of significant views or vistas, a change in land use, or land disturbances.

It should be noted that land disturbances, as defined in MCM InfoSheet #5, apply to archaeological resources (MCM 2006b). An archaeological assessment is beyond the scope of this study since recommendations regarding archaeological resources must be made by a professional archaeologist licensed by the MCM.

6.1 DESCRIPTION OF PROPOSED WORK

It is WSP's understanding that the proposed development includes the extraction of limestone resources, including blasting to a depth between 8 to 27 m, and associated activities and construction for supporting works (i.e., construction of berms and laydown areas). This work will be confined to the license area (261.2 hectares), which will encompass the extraction areas but also areas required for setbacks and supporting works, defined for the project as the limit of extraction.

The limit of extraction, proposed in April 2023, and license area encompasses the entire Study Area (Figure 1 and Appendix A). Within the limit of extraction and license area, proposed construction activities will include:

- Stripping topsoil and overburden to create a perimeter berm. Excess soil will be temporarily stored within the license area or used for progressive rehabilitation of the site.
- Extraction of limestone (involving blasting) and sand and gravel below the water table. This will require dewatering to allow for operations in a dry state.
- The possible use of temporary workspaces/laydown areas, vegetation removal, and heavy machinery/traffic.
- Rehabilitation, the goal of which is to create a landform that represents an ecological and visual enhancement and provides future opportunities for conservation, recreational, tourism and water management. This will ultimately include the creation of lakes, vegetated shorelines, islands, wetlands, upland forested areas, riparian plantings adjacent to the existing watercourse, nodal shrub and tree planting on upland areas grassland meadows and specialized habitat features for bats and turtles.

It should be noted that the lands within the limit of extraction will be maintained in their current state and agricultural uses until they are required for preparation for aggregate extraction.

6.2 ASSESSMENT OF POTENTIAL IMPACTS

Based on the above understanding of the proposed work, Table 6 provides an assessment of the potential impacts resulting from the Project.

Table 6: Assessment of Potential Impacts to 18501 Mississauga Road

IMPACT TYPE	DISCUSSION
<i>Direct Impacts</i>	
Destruction of any, or part of any, significant heritage attributes or features.	<p>The preliminary extraction area, proposed in April 2023, of which the proposed construction activities include extraction (blasting) as well as the possible use of temporary workspaces/laydown areas, vegetation removal, and heavy machinery/traffic, encompasses the entire Study Area, including the following identified heritage attributes or features: the Vernacular style farmhouse, barns, and mature vegetation.</p> <p>The location of the proposed construction activities suggests the possible demolition/destruction of the Vernacular style farmhouse, barns, and mature vegetation located within the Study Area, which will result in a change in land use and permanent removal of all CHVI and heritage attributes identified for the property.</p> <p>As proposed, the work is anticipated to result in destruction-related impacts that will directly impact the Study Area, adversely affecting its CHVI and heritage attributes. See Section 7 for mitigation recommendations.</p>
Alteration that is not sympathetic, or is incompatible, with the historic fabric and appearance.	The proposed work, without mitigation measures or conservation planning, could result in totally altering the heritage attributes and appearance of the identified built heritage attributes and their contextual heritage value. See Section 7 for mitigation recommendations.
<i>Indirect Impacts</i>	
Shadows created that alter the appearance of a heritage attribute or change the viability of a natural feature or plantings, such as a garden.	<p>No shadow-related impacts to the heritage resource are anticipated since the proposed work will be ground disturbing rather than new building construction.</p> <p>Accordingly, no negative impacts relating to shadows are anticipated.</p>
Isolation of a heritage attribute from its surrounding environment context or a significant relationship.	<p>The location of the proposed construction activities suggests the possible demolition/destruction of both the Study Area and/or the surrounding farm complexes, to which the Study Area is historically and physically linked.</p> <p>The proposed construction activities suggest the possible demolition/destruction of one, or all, identified heritage attributes of the Study Area, such as: the Vernacular style farmhouse, barns, and mature vegetation.</p> <p>Therefore, alterations that may indirectly impact one or more heritage attributes on the property through isolation are a possibility without mitigation measures in place. See Section 7 for mitigation recommendations.</p>
Direct or indirect obstruction of significant views or vistas within, from, or of built and natural features.	No significant views or vistas to or from the Study Area were identified as a heritage attribute. Therefore, no negative impacts to views are anticipated.
A change in land use such as rezoning a battlefield from open space to residential use, allowing new development or site alteration to fill in the formerly open spaces.	<p>A proposal to change the land use of a portion of the Study Area and surrounding area to be licenced under the <i>Aggregate Resources Act</i> and designated/zoned under the Planning Act to permit the proposed quarry has been submitted and is in progress.</p> <p>Therefore, the proposed change in land use may indirectly impact the Study Area, adversely affecting its CHVI and heritage attributes. See Section 7 for mitigation recommendations.</p>
Land disturbances such as a change in grade that alters soils, and drainage patterns that adversely affect a cultural heritage resource.	<p>The proposed mineral aggregate operation activities will result in significant changes to the grade and drainage patterns of the land within the project, including the Study Area.</p> <p>Without mitigation measures, the proposed activities will result in land disturbances which will negatively affect the CHVI and heritage attributes identified for the Study Area.</p>

IMPACT TYPE	DISCUSSION
	As proposed, the work is anticipated to result in land disturbances that will directly impact the property, adversely affecting the Study Area's CHVI and heritage attributes. See Section 8 for mitigation recommendations.

6.3 SUMMARY OF POTENTIAL IMPACTS

The proposed work will involve the extraction of limestone resources, requiring stripping topsoils and overburden, extraction (blasting), vegetation removal, creation of temporary workspaces/laydown areas, use of heavy machinery/traffic, and ultimate rehabilitation. Overall, this is anticipated to have a negative impact on the CHVI and identified heritage attributes of the Study Area. If conservation and mitigation measures aren't developed and implemented, the proposed work has potential for direct and indirect negative impacts to the Study Area related to destruction, alteration, change in land use, isolation, and land disturbances.

Section 7 provides recommendations on conservation and mitigation measures that should serve to mitigate any potential negative impacts of the proposed work.

7 CONSIDERATION OF ALTERNATIVES

Since the impact assessment identified the potential for adverse impacts to the CHVI and heritage attributes of the Study Area, alternatives have been considered following Section 3.3.3.3.3 of *Town of Caledon's Official Plan* (2018) and MCM (2006b) InfoSheet#5 of the *Ontario Heritage Tool Kit*. These are:

- 1 Retention of the building on-site in its original use
 - 2 Retention of the building on-site in an adaptive re-use
 - 3 Relocation of the building
 - a on the development site
 - b to a sympathetic site
 - 4 Preserve by Record and Commemorate
-

7.1 OPTION 1: RETENTION OF THE BUILDING ON-SITE IN ITS ORIGINAL USE

Retention of the building on-site in its original use.

Advantages: The approach adheres to the conservation principle of minimal intervention. This approach allows for the property to retain its heritage attributes in situ and preserves the integrity and authenticity of the resource.

Disadvantages: While minimum intervention is the most preferred approach, this can prove detrimental to long-term sustainability without sufficient preventative mitigation measures. Given the nature of the proposed mineral aggregate operation activities and the location of the Study Area as wholly within the limit of extraction, the continued residential use of the farmhouse is untenable. Adjusting the limit of extraction to avoid the heritage attributes of the Study Area while still allowing access to as much of the aggregate as is realistically possible would still result in a residential structure bordered on three sides by mineral aggregate operation activities, rendering the farmhouse an undesirable place to live as evidenced by the potential sale of nearby properties by the current occupants. As such, it is unlikely that the farmhouse will remain occupied for the duration of the work. Rehabilitation work would not begin until quarrying activities are complete, which may be in 40-50 years. Should the residence become uninhabited during the quarrying operations, the structure could fall into disrepair and its heritage attributes could rapidly deteriorate.

Overall feasibility: This option is not feasible because of the:

- High potential for lack of an active use for the Study Area.
 - Challenges for long term sustainability.
-

7.2 OPTION 2: ADAPTIVE REUSE

Retention of the building on-site and an adaptive re-use, such as using the building as an office for the quarry site.

Advantages: This approach would conserve the identified heritage attributes in their current location within the property. Rehabilitation can 'revitalize' a historic place (Canada's Historic Places 2010). Adaptive re-use would serve to retain the farmhouse's heritage attributes in its original location, while allowing for change to take place in the immediate area. Adaptive re-use presents an opportunity for the house to retain a 'progressive authenticity', or 'successive adaptations of historic places over time (Jerome 2008:4). Adaptive re-use projects are generally more

cost-effective, socially beneficial, and environmentally sustainable than new builds, even though they may require more specialized planning to undertake.

Disadvantages: Conservation of the farmhouse without similar conservation of the greater property and surrounding properties would diminish the authentic rural and context and sever the contextual value for the farmhouse. Given the nature of the proposed mineral aggregate operation activities and the location of the Study Area as wholly within the limit of extraction, the farmhouse would not be a desirable or viable place to live or work due to noise and vibrations. Adaptive re-use of heritage buildings for office work is a commonly explored alternative and one explored as an option for this project. Using the farmhouse as an office site for the quarry operations would require changes to convert the structure to an office, which may negatively impact the identified CHVI and heritage attributes and would still only be a temporary measure. An office site has already been planned at 1420 Charleston Sideroad and additional offices are not needed for the project.

Overall feasibility: This option is not feasible because of the:

- Extensive and temporary nature of the changes required to the structure.
- Potential for long term negative impacts to the identified CHVI and heritage attributes of the farmhouse.
- Another property has been selected as an office site and additional offices are not needed.

7.3 OPTION 3: RELOCATION AND REHABILITATION

Option 3a discusses relocation of the buildings to a new location within the development site while Option 3b discusses relocation of the buildings to a sympathetic site within the Town. Both options are discussed in detail below.

Option 3a: Relocation of the building within the property. A heritage building, if of significant historical, architectural or contextual importance, could be relocated to another location within the proposed development.

Advantages: As with Option 2, relocation and rehabilitation can ‘revitalize’ a historic place, and when adapted to a new location, a valued place can be more easily maintained and protected and its heritage attributes widely understood, recognized, and celebrated. Also as above, relocation and rehabilitation projects are generally more cost-effective, socially beneficial, and environmentally sustainable than new builds, even though they may require more specialized planning to undertake.

This option would conserve the physical connection of the farmhouse to its original land parcel, maintaining much of the contextual linkages. Relocation presents an opportunity for the house to retain a ‘progressive authenticity’, or ‘successive adaptations of historic places over time (Jerome 2008:4). The Town of Caledon Official Plan also recognizes relocation as a viable method for conserving CHVI. Relocating the farmhouse and summer kitchen within the property could potentially allow for a thoughtful integration of the structures into the rehabilitation efforts while maintaining the historical relationship of the Study Area with the area. The proposed farmhouse relocation site is approximately 200 m northwest, remaining within the original land parcel but fronting Mississauga Road. This relocation strategy will conserve the physical connection of the farmhouse to its original land parcel and will maintain much of the contextual linkages.

Disadvantages: Relocating the farmhouse is in opposition to MTCS *Guiding Principle* for “original location”. This principle states that buildings should not be moved “unless there is no other means to save them since any change in site diminishes heritage value considerably”. The nature of the work within the proposed extraction area may not provide for a site with sufficient space and buffer to protect the CHVI of the farmhouse. Moreover, relocation of the farmhouse could result in total loss of CHVI if an accident occurs during the process or planning is insufficient. Relocation of only the farmhouse will sever the connection between the farmhouse and the landscape elements that generally support the CHVI of the property, including the mature vegetation and barns.

Overall feasibility: Despite the disadvantages, this option is feasible because :

- Conserves the design or physical value of the farmhouse.
- Is supported by the good physical condition of the farmhouse.
- Retains the contextual value of the house.

Option 3b: Relocation of the building to a sympathetic site within the Town.

Advantages: As with Option 2, relocation and rehabilitation can ‘revitalize’ a historic place, and when adapted to a new location, a valued place can be more easily maintained and protected and its heritage attributes widely understood, recognized, and celebrated. Also as above, relocation and rehabilitation projects are generally more cost-effective, socially beneficial, and environmentally sustainable than new builds, even though they may require more specialized planning to undertake.

This option would conserve the physical attributes of the farmhouse. Relocating the farmhouse to an available lot at a sympathetic site within the Town could potentially allow for a thoughtful integration of the farmhouse into the plans for the new site.

Disadvantages: Relocating the farmhouse is in opposition to MTCS *Guiding Principle* for “original location”. This principle states that buildings should not be moved “unless there is no other means to save them since any change in site diminishes heritage value considerably”. The effort to transport the farmhouse on a public road would be substantial and may require consideration of such actions as taking down overhead lines, reinforcing culverts and crossings, and police escort. Relocation of the farmhouse could result in total loss of CHVI if an accident occurs during the process or planning is insufficient.

Overall feasibility: This option is not feasible because of the:

- A relocation site within the property is available and would better conserve the CHVI and heritage attributes of the property.

7.4 OPTION 4: SALVAGE AND COMMEMORATION

Under this option all the property’s heritage attributes would be documented through photographs, measured drawings, and written notes prior to demolition. This option allows for the salvage of notable heritage artifacts that contribute to the CHVI of the property. These artifacts can inform the development of physical commemoration strategies with the Town of Caledon. Commemoration strategies can include commemorative plaques, landscaping plans, or place naming strategies.

Advantages: This option would conserve the historical connection of the farmhouse and landscape features to the community and original land parcel while salvage of notable artifacts would retain some physical link to the farm complex’s contextual value. This option is both cost effective and acknowledges the farm complex’s contextual value within the community. Through detailed investigations, the construction, architecture, and history of the property would become an example for comparative studies and inform both future heritage assessments and academic study of the area.

Disadvantages: Preservation by salvage or record is the least desirable conservation option. Through demolition, all CHVI and heritage attributes would be removed from the Study Area, and a tangible reminder of the early 19th-century farmhouse and landscape features would be lost, resulting in further attrition of heritage property building stock in the municipality and province. Even if some materials are salvaged, there is potential that their connection with the farmhouse and its historical or associative value will eventually be lost. Demolition of a viable building also means the unnecessary addition of building material to a landfill.

Overall feasibility: Despite the disadvantages, this option is feasible for the landscape and outbuilding components of the Study Area because:

- It conserves the barns and mature vegetation on the property.

7.5 SUMMARY

Option 3a is identified to be that which best balances the economic viability of the Study Area and the long-term sustainability of the original farmhouse as a valued historic structure with intact heritage attributes. A suggested location for the relocation of the house and summer kitchen is presented in Figure 11.

Option 3a will:

- Conserve a tangible element of the Town’s architectural and agricultural history within the original property parcel; and
- Encourage public understanding and appreciation of the Town’s built and agricultural heritage.

Option 4 is feasible for the landscape and outbuilding elements (the two barns and mature vegetation on the property).

Option 4 will:

- Conserve the outbuildings (both barns) and landscape elements (mature vegetation) of the farm complex.

UPDATE No. 1 (September 2025): *The below text and Table 7 have been added to illustrate that the preferred conservation strategy is aligned with the requirements of the Ontario Heritage Act, PPS 2024, Aggregate Resources Act, and Regional and Municipal Official Plan policies.*

The alternatives selected as the preferred conservation strategy for the Study Area are aligned with the requirements of the *Ontario Heritage Act*, PPS 2024, Region of Peel Official Plan, and Town of Caledon Official Plan. The heritage evaluation (Section 5) and impact assessment (Section 6 and 7) satisfy the requirements for cultural heritage under the Aggregate Resources Act. All recommendations contained in this report follow applicable Official Plan policies in effect by the Region of Peel and Town of Caledon. Monthly discussions between WSP’s Cultural Heritage Specialists and Heritage Planning staff at the Town, initiated June 2024, are ongoing.

Table 7: Policies and Guidelines met as part of this HIA

POLICY / GUIDANCE	MET
<i>Aggregate Resources Act</i> (Ontario Regulation 244/97)	✓
Provincial Planning Statement (2024)	✓
<i>Ontario Heritage Act</i> (Ontario Regulation 9/06, Bill 23, Bill 200)	✓
Region of Peel Official Plan	✓
Town of Caledon Official Plan	✓
Town of Caledon Terms of Reference for Heritage Impact Assessments	✓
MCM’s Heritage Property Evaluation: A Guide to Listing, Researching, and Evaluating Cultural Heritage Property in Ontario Communities	✓
MCM’s Heritage Resources in the Land Use Planning Process, InfoSheet #5, Heritage Impact Assessments and Conservation Plans	✓
MCM’s Standards and Guidelines for Conservation of Provincial Heritage Properties: Heritage Identification & Evaluation Process	✓

Provided that the recommendations contained in this report are implemented, the applicable *Ontario Heritage Act*, PPS 2024, *Aggregate Resources Act*, and Regional and Municipal Official Plan policies are satisfied.

UPDATE No. 1 (September 2025): *The below text has been added to reflect ongoing conversations between WSP and the Town and acknowledges that a 'Notice of Intention to Designate' the subject property, 18501 Mississauga Road, was issued by the Town of Caledon on March 12, 2024 (Town of Caledon 2024b and 2024c).*

Note that in the time since the original submission (2023), the Town presented a staff report at the Heritage Caledon Committee meeting on February 5, 2024 and issued a NOID for 18501 Mississauga Road on March 12, 2024 (Town of Caledon 2024b and 2024c) with the following description:

The property is located on the east side of Mississauga Road, north of Charleston Sideroad, being Part of Lot 16, Concession 4 WHS, within the former geographic Township of Caledon.

The property has design value as a representative and rare example of an early 19th century farmhouse in the Town of Caledon. Built between 1836 and 1848 for John Cameron, the one-and-a-half storey, vernacular style residence is a rare surviving example of an early 19th century farmhouse in the community. A late 19th century barn with fieldstone foundations and a gable roof is located to the northwest of the farmhouse and an early 20th century barn with concrete foundations and a gambrel roof is located to the east.

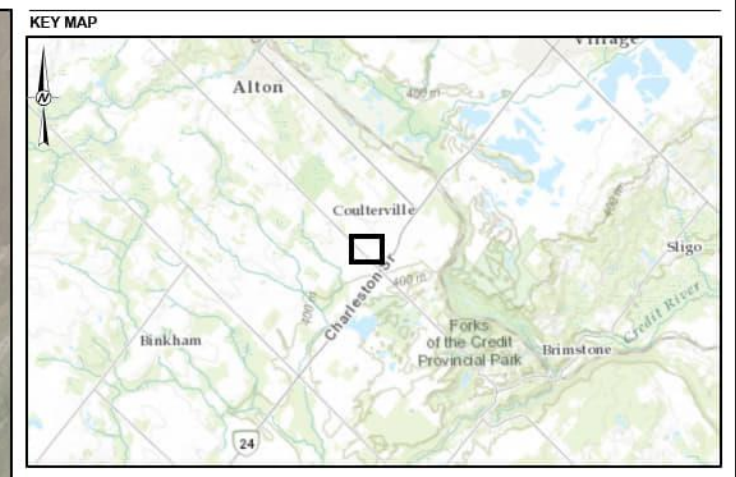
As a 19th century farm complex, the spatial organization and mix of structural elements on the property maintain and supports the rural agricultural character of the wider area. The house, barn complex, and mature vegetation on the property are both physically and historically linked to each other and physically and historically linked to their surroundings.

(Town of Caledon, 2024c)

Additionally, WSP facilitated production of a draft Reference Plan (R-Plan) to further support Option 3a by identifying the portion of the parcel that will contain the property's heritage attributes. This R-Plan will be used to define the future Part IV Designation limits and the current draft is presented in Appendix E.

At the time of updated submission, the Part IV Designation has not yet been approved by Council.

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LEGEND
 PROPOSED RELCATION BOUNDARY



NOTE(S)
 1. ALL LOCATIONS ARE APPROXIMATE

REFERENCE(S)
 1. CONTAINS INFORMATION LICENSED UNDER THE OPEN GOVERNMENT LICENCE - ONTARIO
 2. IMAGERY CREDITS: WORLD TOPOGRAPHIC MAP: CITY OF BRAMPTON, REGION OF PEEL, PROVINCE OF ONTARIO, ONTARIO MNR, ESRI CANADA, ESRI, HERE, GARMIN, USGS, NGA, EPA, USDA, NPS, AAFC, NR CAN
 WORLD IMAGERY: DUFFERIN COUNTY, PEEL REGION, MAXAR, MICROSOFT
 3. COORDINATE SYSTEM: NAD 1983 UTM ZONE 17N

CLIENT
 CBM AGGREGATES, A DIVISION OF ST. MARYS CEMENT INC.
 (CANADA)

PROJECT
 CULTURAL HERITAGE IMPACT ASSESSMENT, 18501 MISSISSAUGA, TOWN OF CALEDON, REGIONAL MUNICIPALITY OF PEEL, ONTARIO

TITLE
ESTIMATED BOUNDARY OF PROPOSED RELOCATION

CONSULTANT	YYYY-MM-DD	2025-09-10
	DESIGNED	SO
	PREPARED	SD/MC
	REVIEWED	SO
	APPROVED	HS

20mm IF THIS MEASUREMENT DOES NOT MATCH WHAT IS SHOWN, THE SHEET SIZE HAS BEEN MODIFIED FROM A4NS B

8 SUMMARY STATEMENT AND RECOMMENDATIONS

WSP was retained by CBM to complete an HIA for 18501 Mississauga Road in the Town of Caledon, Regional Municipality of Peel, Ontario (the Study Area). The Study Area is a rectangular-shaped, 20-hectare (50-acre) property located at the north corner of Mississauga Road and Charleston Sideroad. In the Study Area is a one-and-a-half storey vernacular style residence constructed for John Cameron between 1836 and 1848. The original block of the farmhouse was subsequently altered through additions built in 20th century. The Town of Caledon issued a NOID for the Study Area under Part IV of the *Ontario Heritage Act* on March 12, 2024. The Study Area is not identified as a Cultural Heritage Landscape in the Town's Cultural Heritage Landscape Inventory (Scheinman 2009).

CBM proposes to develop the Study Area as part of a quarry site, with the proposed work including removing the surface vegetation and overburden, creating temporary workspaces or laydown areas, extracting the limestone resources, and ultimately rehabilitating the site.

An evaluation of the Study Area for this HIA determined that the Study Area has CHVI because it meets three criteria prescribed in O. Reg 9/06 of the *Ontario Heritage Act* (1, 7, and 8). The Study Area's CHVI is principally linked to its farmhouse, which has physical value as a rare surviving example of an early 19th century vernacular style farmhouse and contextual value for its physical and historical connections to its surroundings. The Study Area was found to be important in defining, maintaining, and supporting the agricultural and rural character of the area.

An impact assessment of the proposed work determined that the Study Area will be subject to both direct and indirect negative impacts. To avoid or reduce these effects, WSP recommends to:

- Relocate the farmhouse within the existing property parcel (Option 3a) and complete documentation and salvage for the remaining landscape and outbuilding components (Option 4).

UPDATE No. 1 (September 2025): *The following recommendations have been updated to respond to comments received from Town of Caledon Heritage Planning staff, regulatory updates, and project progression since the July 2023 submission. In particular, the status of the property's designation process under Part IV of the Ontario Heritage Act, the preparation of a Draft Reference Plan to delineate limits of heritage attributes, and the proposed details and timing of conservation measures have been updated and included to reflect monthly meetings with the Town, ongoing since June 2024, and comments received on the July 2023 submission on March 18, 2025.*

UPDATE No.2 (February 2026): *As part of the updated report submission, recommendation #11 has been added to guide heritage conservation recommendations that must be included on the ARA Site Plan Technical Recommendations.*

To achieve the proposed conservation strategy, WSP recommends the following:

- 1 If the property is vacated before the site-specific mitigation measures are implemented, a qualified specialist shall develop a mothball plan for the farmhouse, with a maintenance and inspection schedule, to conserve the structure until further action is implemented.
- 2 Short-term conservation actions, while relocation plans are designed:
 - a Enact site plan control and communication and erect a physical buffer around the property during adjacent mineral aggregate operation activities, prior to relocation, to reduce the risk of accidental damage from vehicles, heavy equipment operation, or other activities of the mineral aggregate operation. This

- 11** Add the following notes to the ARA Site Plan Technical Recommendations to establish required conservation measures for 18501 Mississauga Road that shall be tracked by the Ministry of Natural Resources as part of the CBM Caledon Pit / Quarry site license:

In order to conserve the heritage attributes located at 18501 Mississauga Road, the licensee shall:

1. Prior to extraction in Phase 5 relocate the farmhouse within the existing property parcel located outside of the license boundary and complete documentation and salvage for the remaining landscape and outbuilding components.
2. The following short-term conservation actions, shall be implemented prior to relocation of the farmhouse:
 - a) Prior to site preparation in Phase 5, the licensee shall erect fencing 50 m from the farmhouse to identify a 'no-go zone' to reduce the risk of accidental damage from vehicles, heavy equipment operation, or other activities of the mineral aggregate operation.
 - b) Implement the recommendations of the blast impact assessment to ensure the structural integrity of the farmhouse is maintained.
 - c) If the farmhouse is vacated prior to the relocation, a qualified specialist shall develop a mothball plan for the farmhouse, with a maintenance and inspection schedule, to conserve the structure until further action is implemented.
 - d) A Documentation Report and Salvage Plan for Cultural Heritage Resources shall be prepared for the barns and mature vegetation on the property. The Documentation Report and Salvage Plan shall be completed by a qualified cultural heritage specialist prior to the commencement of site preparation activities within Phase 5.
3. To conserve the farmhouse at its new location, the following mitigation measures shall be implemented:
 - a) The limit of extraction shall include a 50 m buffer from the farmhouse to protect the heritage attributes of the property.
 - b) Implement the recommendations of the blast impact assessment to ensure the structural integrity of the farmhouse is maintained.

Provided that the recommendations contained in this report are implemented, the applicable *Ontario Heritage Act*, *PPS 2024, Aggregate Resources Act*, and Regional and Municipal Official Plan policies, related to built heritage are satisfied.

9 ASSESSOR QUALIFICATIONS

This report was prepared and reviewed by the undersigned, employees of WSP. The qualifications of the assessors involved in the preparation of this report are provided in Appendix A.

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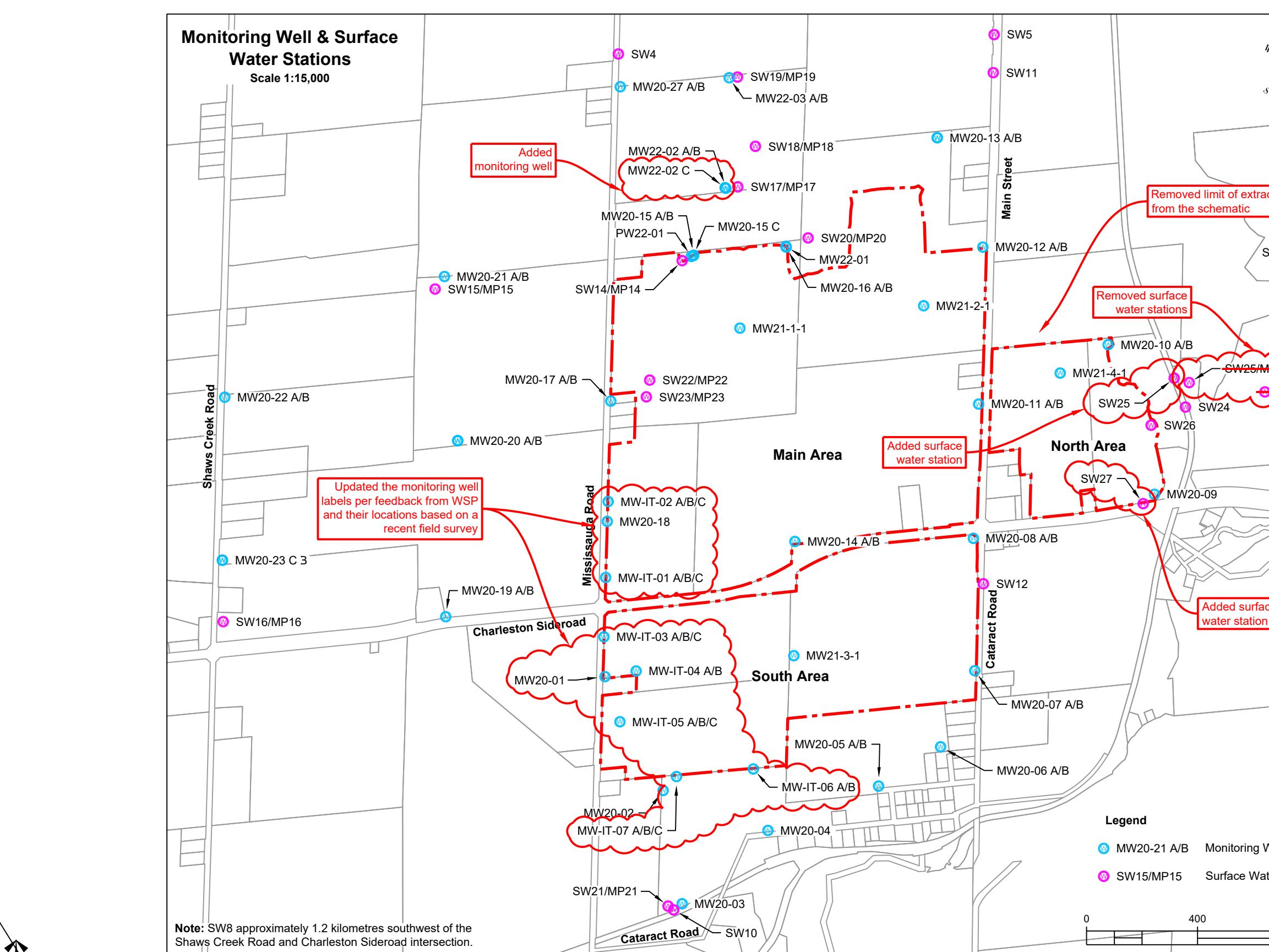
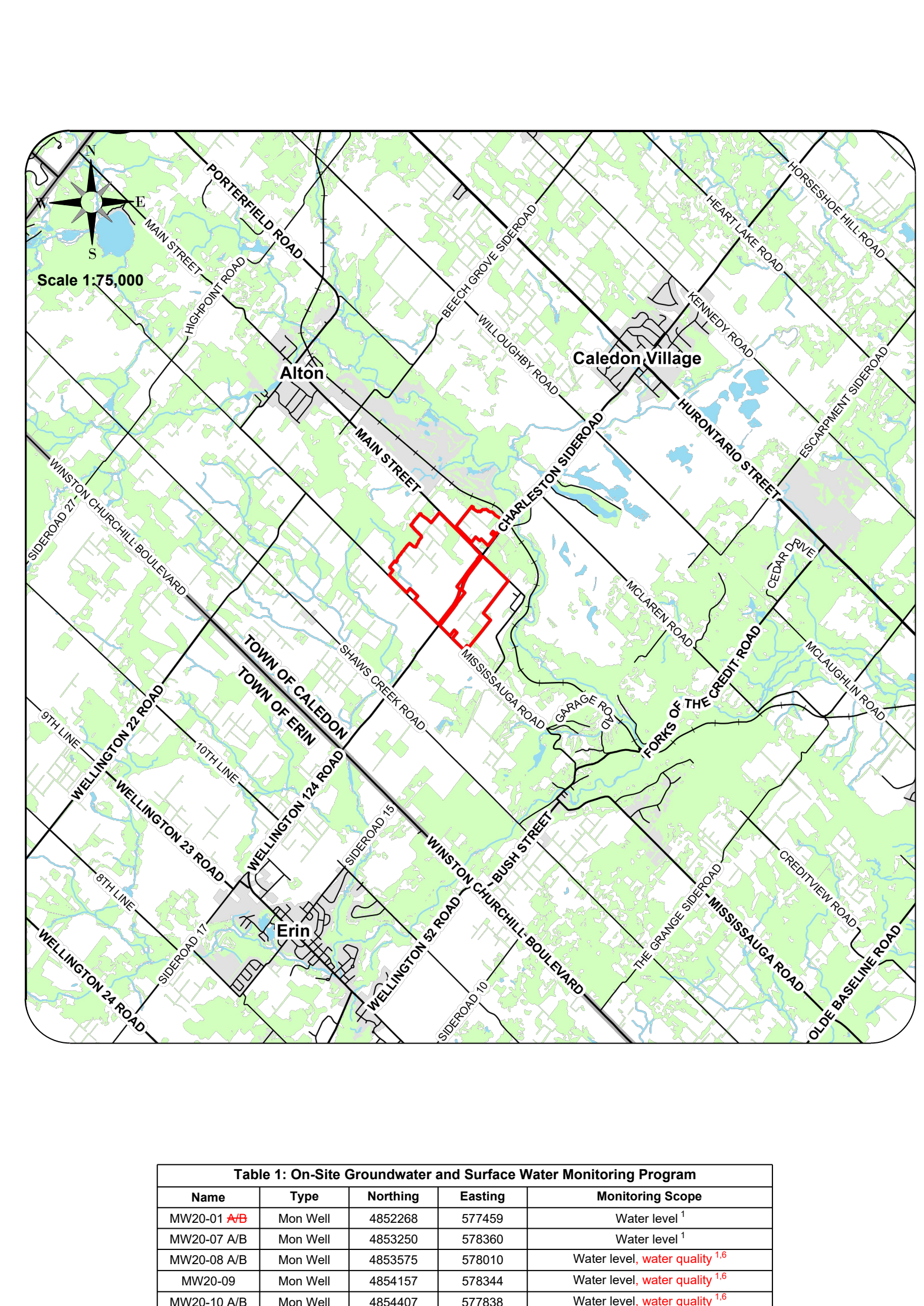
Appendix A:

Site Plan (May 2025)

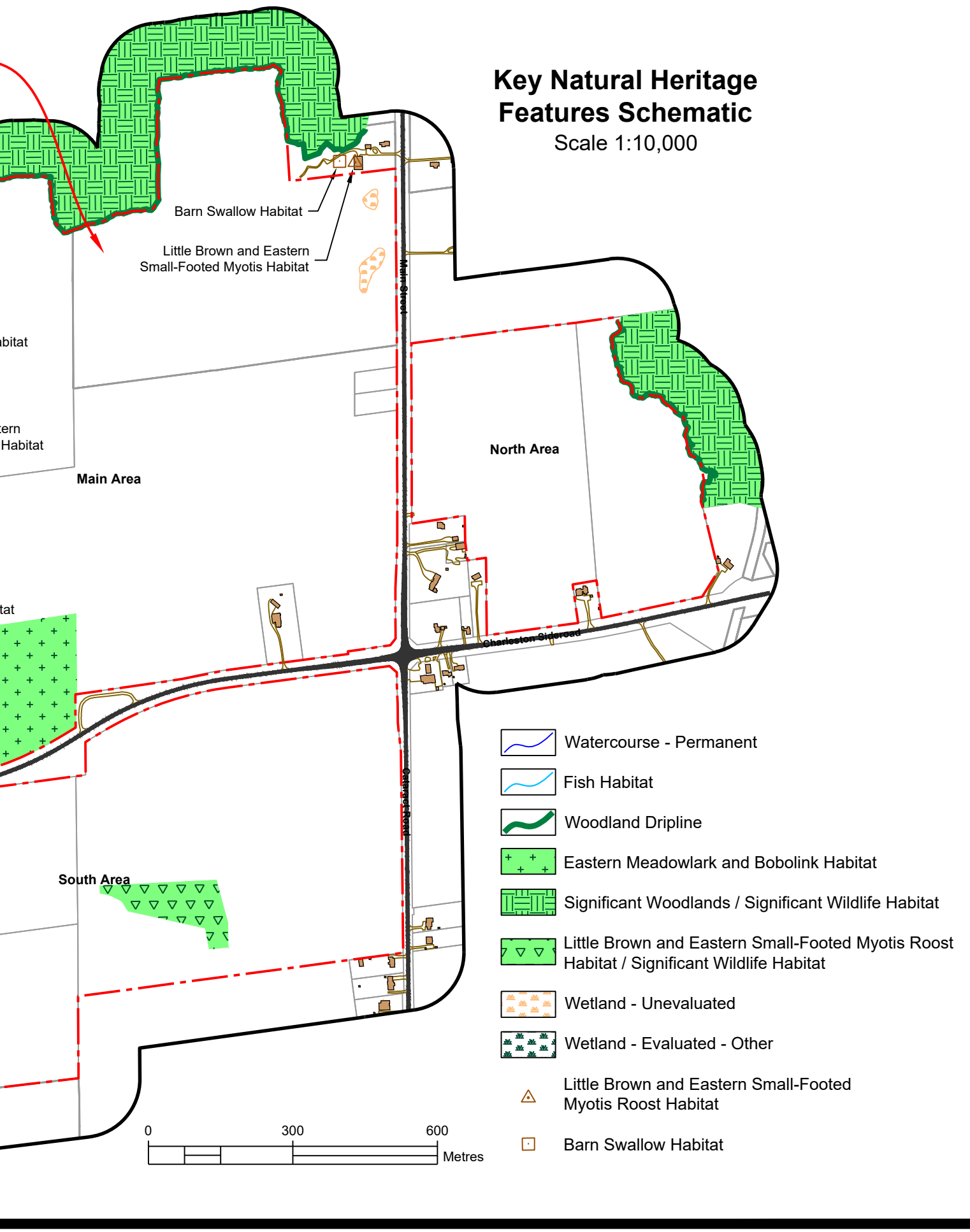
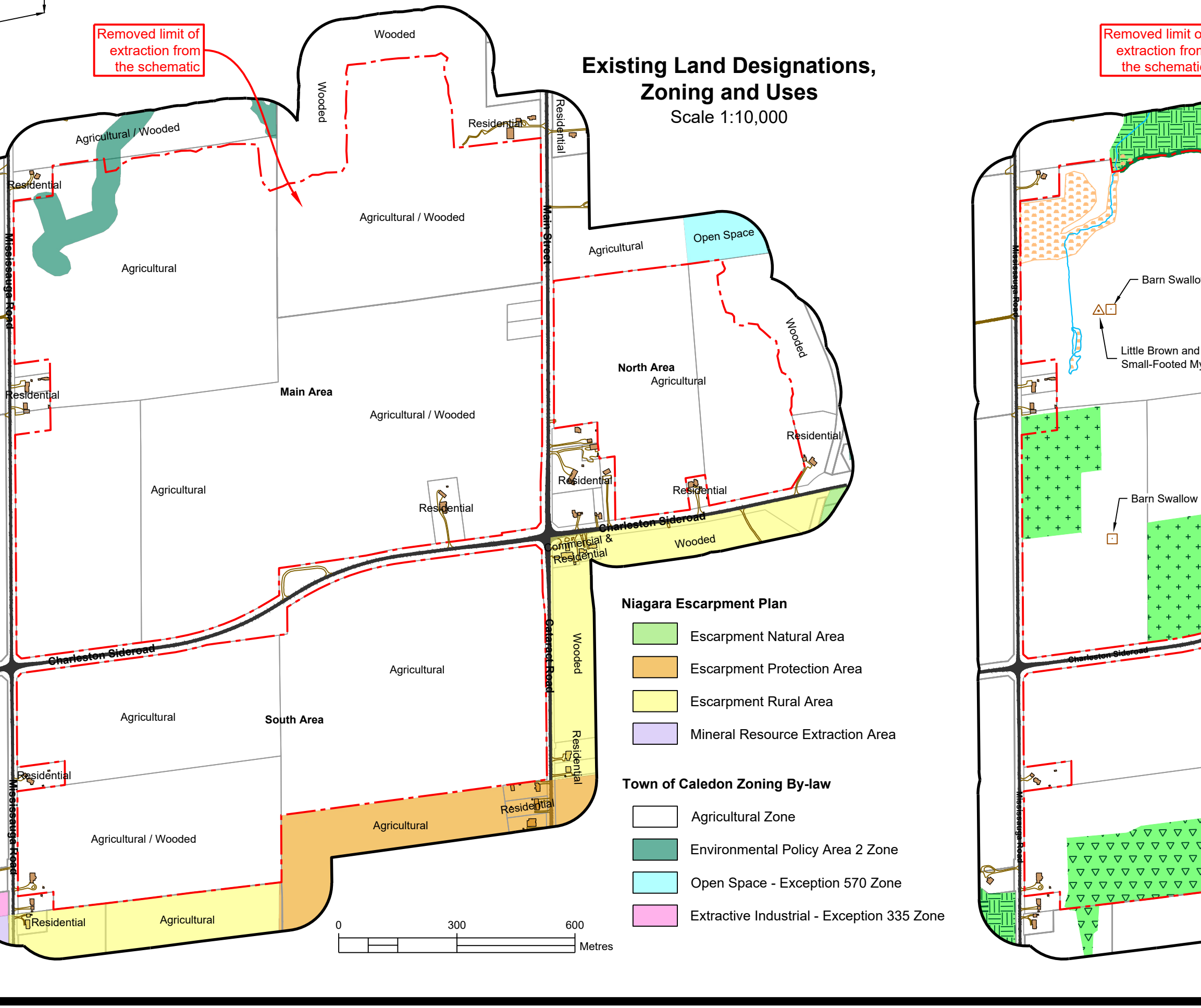




- A. General**
- This site plan is prepared under the Aggregate Resources Act for a Class 'A' licence for a pit and quarry over the ground water table.
 - Area Calculations:
Main Area: 151.5 hectares
North Area: 30.3 hectares
South Area: 79.4 hectares
 - Northing and easting coordinates have been provided for select corners of the licence boundaries and at the centre point of every entrance and exit that intersects the licence boundaries on the plan view of this drawing.
- B. References**
- Contours were obtained from First Base Solutions and are displayed in one metre intervals. Elevations shown are in metres above sea level (MASL).
 - Topographic information was obtained from numerous sources including First Base Solutions, Land Information Ontario and field investigations for technical reports.
 - All topographic features and structures are shown to scale in Universal Transverse Mercator (UTM) with North American Datum 1983 (NAD83), Zone 17 (West), Central Meridian 81 degrees west coordinate system.
 - The Main Area licence boundary was established based on a completed plan of survey completed by Delph 4 Jenkins North Limited (Delph 4) on February 14, 2023 which defined the following information: Plan 43R-39633, 43R-29007, 43R-22255, 43R-16017, 43R-17782, 43R-4021, 43R-21423, 43R-21424, and instruments R0114881 and R01914021. The North and South Area licence boundaries are based on the Municipal Property Assessment Corporation's parcel fabric.
 - Existing zoning on and within 120 metres of the licence boundaries are from the Town of Caledon Zoning By-law 2008-05, Schedule 'A', Zone Major 'M' (last updated August 21, 2019), 74 (last updated March 24, 2016) and 75 (last updated August 21, 2019). The Main Area is currently zoned Agricultural Zone (A1) and Environmental Policy Area 2 Zone (EPA2) while the North and South Areas are currently zoned Agricultural Zone (A1).
 - Existing land use designations within 120 metres of the licence boundaries are from the Niagara Escarpment Plan, Part 4, dated June 1, 2017.
 - Land use information and structures identified on and within 120 metres of the licence boundaries were determined using aerial photography captured in the spring of 2021 from First Base Solutions.
- C. Drainage**
- Surface drainage on and within 120 metres of the licence boundaries is by overland flow in the directions shown by arrows on the plan view, or by infiltration.
- D. Groundwater**
- The maximum predicted groundwater table, based on groundwater levels monitored over a 12 month period from January to December 2021, are as follows:
1.1. Main Area - Ranges from 420.7 to 393.5 masl (north to south)
1.2. North Area - Ranges from 407.3 to 392.0 masl (northwest to southeast)
1.3. South Area - Ranges from 405.3 to 391.0 masl (northwest to southeast)
2. The maximum predicted groundwater table elevations are shown in each cross section on drawing 1 of 4.
- E. Site Access and Fencing**
- The Main Area has four existing access points (two on Mississauga Road and two on Charleston Sidewalk), the North Area has two existing access points (one on Main Street and one on Charleston Sidewalk), and the South Area has four existing access points (one on Mississauga Road and three on Charleston Sidewalk). None of the existing access points are gated.
 - Post and wire fencing (unless noted otherwise) exists in the location shown on the plan view.
- F. Significant Natural and Human-Made Features and Within 120 Metres**
- There is a pond and Ministry of Natural Resources and Forestry (MNRF) identified unevaluated wetlands within the Main Area licence boundary.
 - There is Significant Wildlife Habitat and habitat for endangered and threatened species within the Main and South Area licence boundary.
 - There are Significant Woodland, Significant Wetland, Habitat for endangered and threatened species and MNRF identified evaluated wetlands (non-significant) outside of the licence boundaries within 120 metres.



- Table 1: On-Site Groundwater and Surface Water Monitoring Program**
- | Name | Type | Northing | Easting | Monitoring Scope |
|------------|----------|----------|---------|---|
| MW20-01 AB | Mon Well | 4852268 | 577459 | Water level ¹ |
| MW20-02 AB | Mon Well | 4852250 | 578300 | Water level ¹ |
| MW20-03 AB | Mon Well | 4852375 | 578210 | Water level, water quality ^{1,2} |
| MW20-04 AB | Mon Well | 4854157 | 578344 | Water level, water quality ^{1,2} |
| MW20-05 AB | Mon Well | 4854187 | 578372 | Water level, water quality ^{1,2} |
| MW20-06 AB | Mon Well | 4853921 | 577872 | Water level ¹ |
| MW20-07 AB | Mon Well | 4854321 | 577272 | Water level, water quality ^{1,2} |
| MW20-08 AB | Mon Well | 4853100 | 577578 | Water level ¹ |
| MW20-09 AB | Mon Well | 4853250 | 578617 | Water level, water quality ^{1,2} |
| MW20-10 AB | Mon Well | 4853544 | 578677 | Water level ¹ |
| MW20-11 AB | Mon Well | 4853007 | 578785 | Water level ¹ |
| MW20-12 AB | Mon Well | 4852969 | 578782 | Water level ¹ |
| MW20-13 AB | Mon Well | 4852659 | 577058 | Water level ¹ |
| MW20-14 AB | Mon Well | 4853445 | 578682 | Water level ¹ |
| MW20-15 AB | Mon Well | 4852111 | 577278 | Water level ¹ |
| MW20-16 AB | Mon Well | 4852814 | 577872 | Water level ¹ |
| MW20-17 AB | Mon Well | 4852111 | 577793 | Water level ¹ |
| MW20-18 AB | Mon Well | 4852111 | 577278 | Water level ¹ |
| MW20-19 AB | Mon Well | 4852111 | 577278 | Water level ¹ |
| MW20-20 AB | Mon Well | 4852111 | 577278 | Water level ¹ |
| MW20-21 AB | Mon Well | 4852111 | 577278 | Water level ¹ |
| MW20-22 AB | Mon Well | 4852111 | 577278 | Water level ¹ |
| MW20-23 AB | Mon Well | 4852111 | 577278 | Water level ¹ |
- Table 2: Off-Site Groundwater and Surface Water Monitoring Program**
- | Name | Type | Northing | Easting | Monitoring Scope |
|------------|----------|----------|---------|---|
| MW20-01 | Mon Well | 4852138 | 577900 | Water level ¹ |
| MW20-02 | Mon Well | 4851907 | 578244 | Water level, water quality ^{1,2,3} |
| MW20-03 | Mon Well | 4852313 | 578255 | Water level, water quality ^{1,2,3} |
| MW20-04 | Mon Well | 4852313 | 578255 | Water level, water quality ^{1,2,3} |
| MW20-05 AB | Mon Well | 4852313 | 578255 | Water level, water quality ^{1,2,3} |
| MW20-06 AB | Mon Well | 4852973 | 578474 | Water level, water quality ^{1,2,3} |
| MW20-07 AB | Mon Well | 4854173 | 578673 | Water level ^{1,2} |
| MW20-08 AB | Mon Well | 4854173 | 578673 | Water level ^{1,2} |
| MW20-09 AB | Mon Well | 4852000 | 578607 | Water level ^{1,2} |
| MW20-10 AB | Mon Well | 4852448 | 578478 | Water level ^{1,2} |
| MW20-11 AB | Mon Well | 4852448 | 578478 | Water level ^{1,2} |
| MW20-12 AB | Mon Well | 4852448 | 578478 | Water level ^{1,2} |
| MW20-13 AB | Mon Well | 4852448 | 578478 | Water level ^{1,2} |
| MW20-14 AB | Mon Well | 4852448 | 578478 | Water level ^{1,2} |
| MW20-15 AB | Mon Well | 4852448 | 578478 | Water level ^{1,2} |
| MW20-16 AB | Mon Well | 4852448 | 578478 | Water level ^{1,2} |
| MW20-17 AB | Mon Well | 4852448 | 578478 | Water level ^{1,2} |
| MW20-18 AB | Mon Well | 4852448 | 578478 | Water level ^{1,2} |
| MW20-19 AB | Mon Well | 4852448 | 578478 | Water level ^{1,2} |
| MW20-20 AB | Mon Well | 4852448 | 578478 | Water level ^{1,2} |
| MW20-21 AB | Mon Well | 4852448 | 578478 | Water level ^{1,2} |
| MW20-22 AB | Mon Well | 4852448 | 578478 | Water level ^{1,2} |
| MW20-23 AB | Mon Well | 4852448 | 578478 | Water level ^{1,2} |



Site Plan Changes

The redline revisions shown on this drawing represent all of the changes that have been made since the August 2023 Aggregate Resource Act site plan.

- Legal Description**
Part of Lots 15-1746, Concession 4 WSCR and Part of Lot 16, Concession 3 WSCR (former geographic Township of Caledon)
Township of Caledon
Regional Municipality of Peel
- Legend**
- Licence Boundary
 - Additional Land Owned by Licensee
 - Limit of Extraction
 - Contours with Elevation
 - 120m Offset From Draft Licence Boundaries
 - Public Road
 - Lots and Concessions
 - Driveway
 - Parcel Fabric
 - Railway
 - Easement
 - Overhead Hydro
 - Watercourse
 - Pipeline
 - Watercourse
 - Fence
 - Water Feature
 - Entrance / Exit
 - Wooded Area
 - Direction of Surface Drainage
 - Wetland
 - Building/Structure
 - Wetland - Other
 - Wetland - MNRF - Unvaluated
 - Cross Sections

- Legend - Cross Sections**
- Licence Boundary
 - Limit of Extraction
 - Existing Grade
 - Maximum Predicted Water Table
 - Maximum Depth of Excavation
 - Topsoil and/or Overburden
 - Aggregate Available for Extraction

Site Plan Acronyms

- ARA - Aggregate Resources Act
- MECP - Ministry of the Environment, Conservation and Parks
- MCCS - Ministry of Government and Consumer Services
- DFO - Department of Fisheries and Oceans Canada
- MNRF - Ministry of Natural Resources and Forestry
- MCM - Ministry of Citizenship and Multiculturalism
- TSSA - Technical Standards and Safety Authority
- MTC - Ministry of Tourism, Culture and Sport
- ECA - Environmental Compliance Approval
- BMP - Best Management Practices Plan
- WWIS - Water Well Information System
- HIA - Heritage Impact Assessment
- CVC - Credit Valley Conservation
- MASL - Metres above sea level
- PTTW - Permit to Take Water
- NTS - Not to Scale

Site Plan Amendments

No.	Date	Description	By

Site Plan Revisions (Pre-Licensing)

No.	Date	Description	By
4	May 2025	Update the site plan to address agency and public comments	C.P.
3	March 2025	Update the site plan to address agency and public comments	C.P.
2	August 2024	Updated the site plan to address the MNRF comments from their letter dated January 11, 2024 and the Town of Caledon's comments from their letter dated February 15, 2024	C.P.
1	August 2023	Revised drawing to incorporate updated technical report recommendations	C.P.

PLANNING URBAN DESIGN & LANDSCAPE ARCHITECTURE
MHBC

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MHBC Stamp
Brian Zeman
Is authorized by the Ministry of Northern Development, Natural Resources and Forestry pursuant to Subsection 0.2(3)(f) of the Ontario Regulation 244/97 to prepare and certify site plans.

MHBC Stamp
Christopher Poole
Is authorized by the Ministry of Northern Development, Natural Resources and Forestry pursuant to Subsection 0.2(3)(f) of the Ontario Regulation 244/97 to prepare and certify site plans.

Applicant
cbm
VOTORANTIM
Cimentos

Project
Caledon Pit & Quarry
18722 Main Street, Caledon, Ontario

MNRF Licence Reference No.
626600

Applicant's Signature
[Signature]

Plan Scale: 1:5000 (Arch E)

Date: August 2023 May 2025

Drawn By: C.P. **File No.:** 8816AF

Checked By: B.Z.

File Name
Existing Features

Drawing No.
1 of 4

File Path
N:\8816AF - CBM - Caledon Quarry\Drawings\Site Plan\CAD\8816AF - Site Plan.dwg

A. General

1. Area Calculations
1.1. Licence (Total) 261.2 Hectares
1.2. Limit of Extraction (Total) 125.6 Hectares

Table with 4 columns: Building, Width, Length, Area. Rows include Scale House, Quality Control Lab, Maintenance Shop, Office.

- 4. The licensee intends to retain ownership or control of additional land containing a house to the northwest of the Main Area during the construction period...
5. The licence boundaries are within the Credit Valley Source Protection Area but are not located within a wellhead protection area...

- B. Hours of Operation
1. Activities to prepare the Site, such as the shipping of topsoil, construction of the berm, or activities related to the rehabilitation of the Site after the extraction is completed...

- C. Site Access and Fencing
1. The existing access point on Charlton Street and the southern access point on Mississauga Road for the Main Area (as shown on drawing 1 of 4) shall be removed during site preparation of the Main Area...

- 4. The main operational entrance/well shall be accessed in the location shown on the plan view of this drawing, subject to an agreement with the Region of Peel...
5. The North and South Areas shall be accessed by tunnels beneath Main Street and Charlton Street...

- 7. Pile and/or in-situ micropiles shall be installed in a minimum 1.2 metres in height, shall be erected along the licence boundaries and the perimeter of the cell tower area (see Cell Tower Detail on drawing 1 of 4) in a phased approach...

- 9. All fencing shall be maintained for the life of the licence.

D. Drainage and Station Control

- 1. Drainage of unlandfilled areas will conform to the directions shown on drawing 1 of 4.
2. Silt fencing shall be installed in a phased approach. Prior to site preparation commencing in the Main, North or South Areas, all fencing shall be installed on the exterior side of the perimeter berm...

E. Site Preparation

- 1. Existing structures within the licence boundary not located to be used for cultural heritage purposes shall be demolished or removed prior to site preparation commencing in the Main Area...
2. Timber resources shall be salvaged for use as saw logs, fence posts and fuel wood where appropriate...

F. Berms and Screening

- 1. Berms shall not be located within three metres of the licence boundary or cell tower area.
2. Berms shall be a minimum of 0.6 metres in height, except for a section of the berm along the western extent of the Main Area...

G. Site Dewatering

- 1. Refer to the water technical recommendations in Section O on drawing 3 of 4 for information regarding site dewatering.

H. Extraction Sequence

- 1. This plan depicts a preliminary operation for the property based on the best information available at the time of preparation.
2. Phase 1
2.1. Prepare Phase 1 for extraction and ensure all requirements in Sections C through Q of this drawing are met.

3. Phases 2A

- 3.1. Strip Phase 2A and use the material to construct the perimeter berm for the North Area, for progressive rehabilitation in Phase 1 or temporarily stockpile the material in the topsoil and overburden stockpile area.
3.2. Extract pit and quarry in a northeasterly direction before proceeding in a southeasterly direction.

4. Phase 2B

- 4.1. Strip Phase 2B and use the material for progressive rehabilitation in Phases 1 and 2A or temporarily stockpile the material in the topsoil and overburden stockpile area.
4.2. Create linking cut to establish lateral berm Main Street to connect with Phase 2A.

5. Phase 3

- 5.1. Use the topsoil and overburden stockpiled in Phase 3, as well as the existing material, for progressive rehabilitation in Phases 2A and 2B.
5.2. Construct a slurry wall / grout zone in the southwest setback of the Main Area prior to extraction in Phase 3.

6. Phase 4

- 6.1. Use the topsoil and overburden stockpiled in Phase 4, as well as the existing material, for progressive rehabilitation in Phases 2A, 2B, 3, 4 and backfilling the tunnel beneath Main Street.
6.2. Construct infiltration trenches in the southwest setback of the Main Area prior to extraction in Phase 4.

7. Phase 5

- 7.1. Strip Phase 5 and use the material for progressive rehabilitation in Phases 4 and 5 and any other area requiring backfilling with the Main Area.
7.2. Extract pit and quarry in a southeasterly direction.

8. Phase 6

- 8.1. Strip Phase 6 and use the material to construct the perimeter berm for the South Area or temporarily stockpile for future use with progressive rehabilitation.
8.2. Construct slurry wall / grout zone and infiltration trenches in the southwest and southeast setback of the South Area prior to extraction in Phase 6.

9. Phase 7

- 9.1. Strip Phase 7 and use the material for progressive rehabilitation in Phases 6 and 7.
9.2. Extract pit and quarry in a southeasterly direction before proceeding in a southeasterly direction.

9. Phase 7

- 9.1. Strip Phase 7 and use the material for progressive rehabilitation in Phases 6 and 7.
9.2. Extract pit and quarry in a southeasterly direction before proceeding in a southeasterly direction.

I. Extraction Details

- 1. All trees within five metres of the excavation face inside the limit of extraction shall be removed.
2. The maximum height of a lift within the pit shall not be greater than 1.5 metres above the highest reaching excavating equipment being utilized on-site.

J. Equipment and Processing

- 1. Equipment used on-site may include jaw crushers, excavators, bulldozers, sleds, steamers, screeners, conveyors, hoppers, mobile cone crushers, drill rigs, generators, front loaders, shipping loaders, shipping trucks, haul trucks, and water trucks.

K. Fuel Storage

- 1. Fuel storage tanks shall be located in close proximity to the maintenance shop. Fuel storage tanks shall be installed and maintained in accordance with the Technical Standards and Safety Act and Liquid Fuels Regulation (2103).

L. Scrap and Recycling

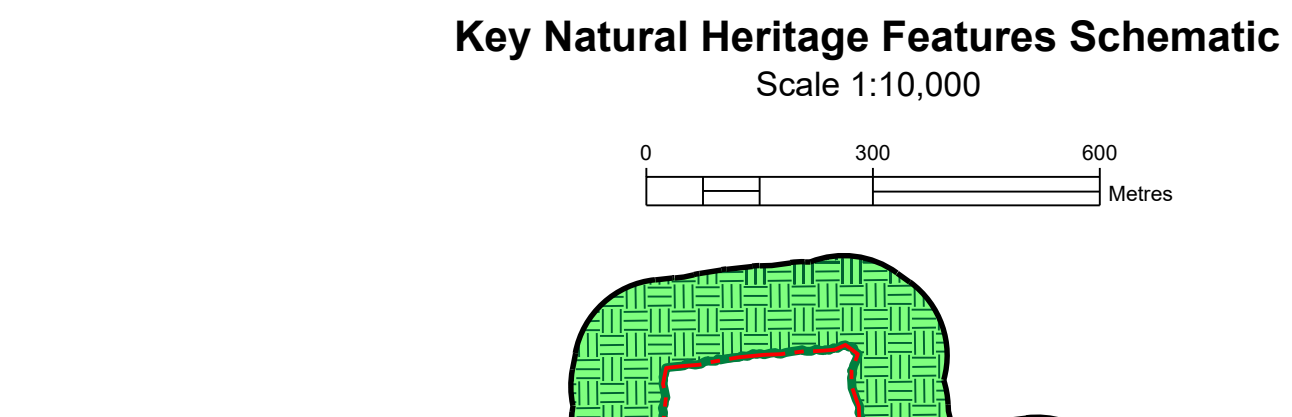
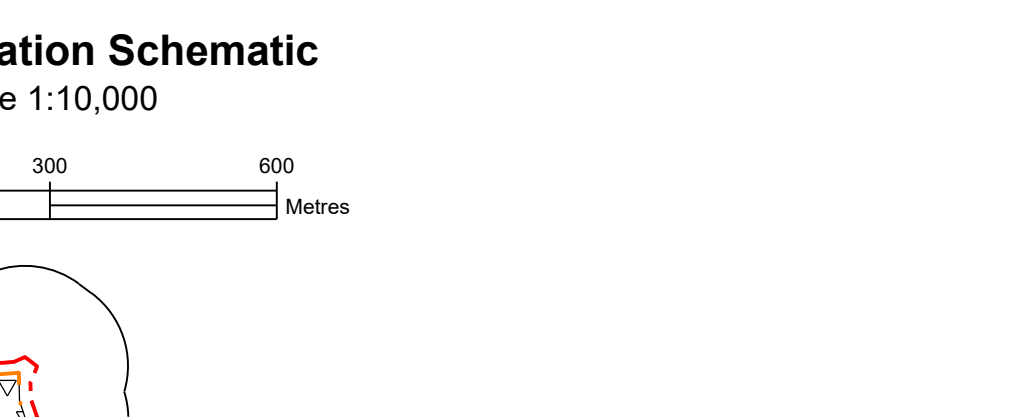
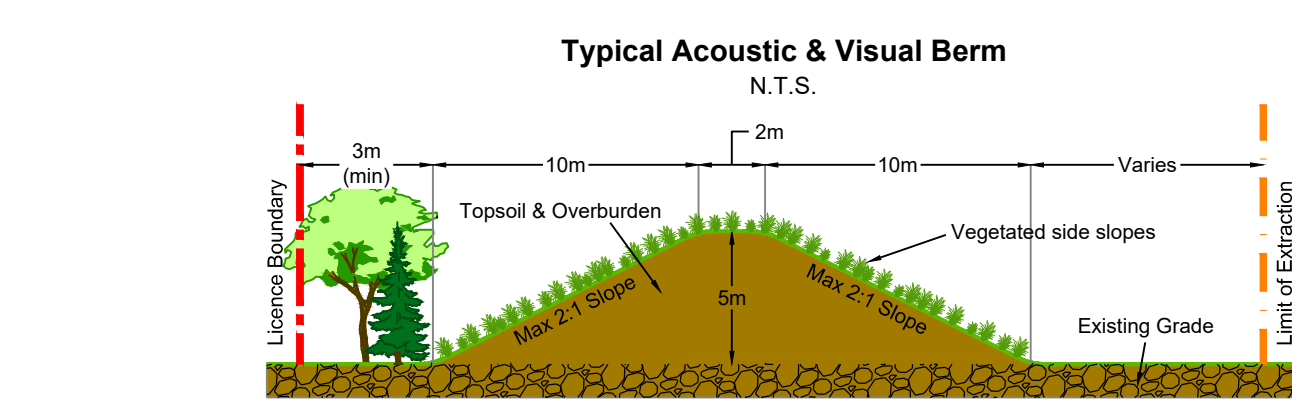
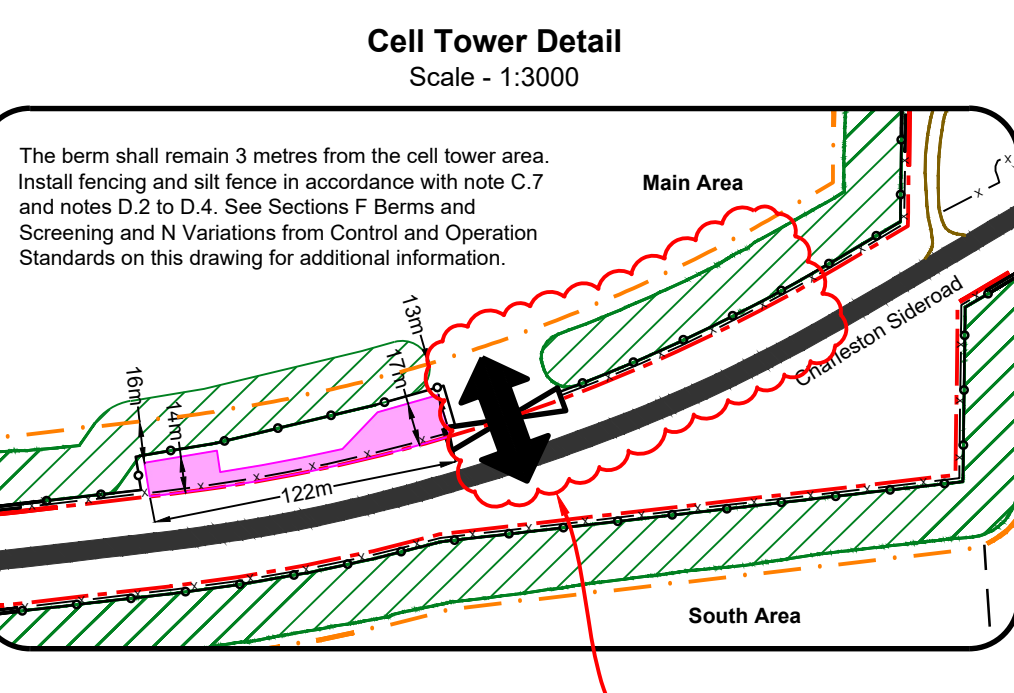
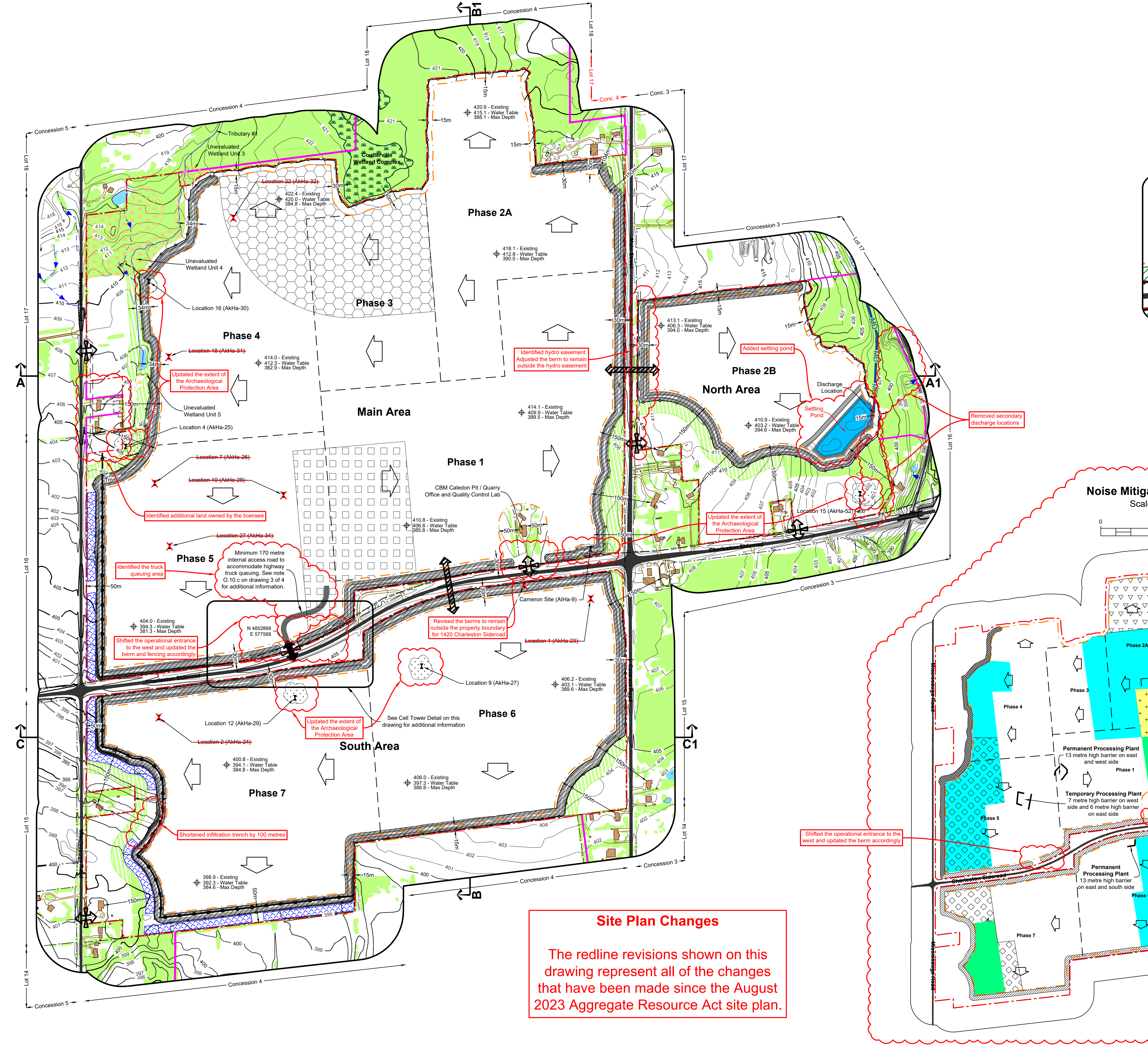
- 1. Scrap may be stored on-site within the Facility Pad, Building Location and Recycling Area identified on the plan view of this drawing (see note 3 on this drawing for additional information) and shall be removed on an ongoing basis.
2. Scrap shall only include material generated directly as a result of the aggregate operation such as rebar, debris, scrap metal, lumber, discarded machinery, equipment and motor vehicles.

M. Maximum Disturbed Area

- 1. The maximum disturbed area is 95.0 hectares. Disturbed areas shall include active extraction areas, stockpile areas, internal haul routes, areas being progressively rehabilitated and berms until they are vegetated.

N. Variations from Control and Operation Standards

Table with 3 columns: Section O.13 Standard, Variation, Rationale. Rows include (1) 1 & 2, (1) 3, (1) 9 & 10 A, (1) 11, (1) 13, (1) 17, (1) 19, 1 & 19 A, (3) (a).



Site Plan Changes
The redline revisions shown on this drawing represent all of the changes that have been made since the August 2023 Aggregate Resource Act site plan.

Legal Description
Part of Lots 15-1746, Concession 4 WSCR and Part of Lot 16, Concession 3 WSCR (former geographic Township of Caledon)

Legend
Licence Boundary
Limit of Extraction
Contours with Elevation
Public Road
Driveway
Railway
Entrance / Exit
Tunnel Crossing
Gate
Watercourse
Water Feature
Wooded Area
Wetland
Wetland - Other
Visual Planting Area

Additional Land Owned by Licensee
120m Offset From Licence Boundary
Easement
Pipeline
Fence
Silt Fence
Main Discharge
Secondary Discharge
Berm
General Direction of Excavation & Boundary
Building/Structure
Topsoil & Overburden Stockpile Area
Facility Pad, and Building Location and Recycling Area
Archaeological Protection Area
Infiltration Trench
Slurry Wall
Spot Elevation
Cross Sections

Site Plan Acronyms
1. ARA - Aggregate Resources Act
2. MECP - Ministry of the Environment, Conservation and Parks
3. MGCS - Ministry of Government and Consumer Services

Site Plan Amendments
Table with columns: No., Date, Description, By.

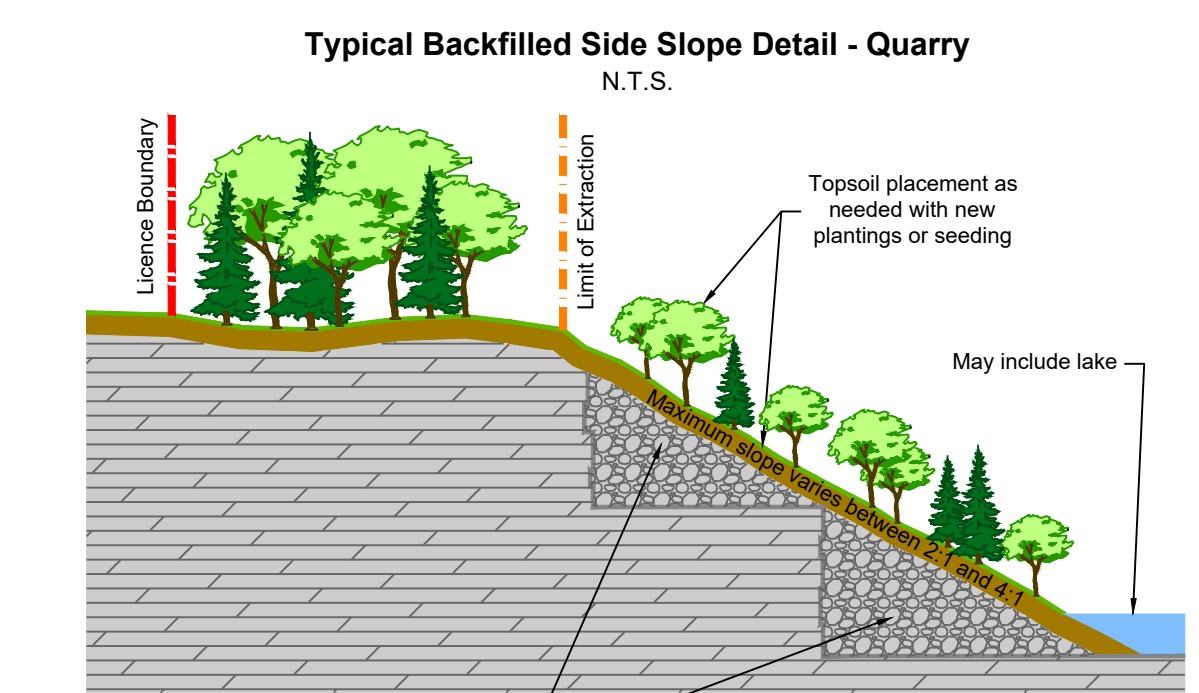
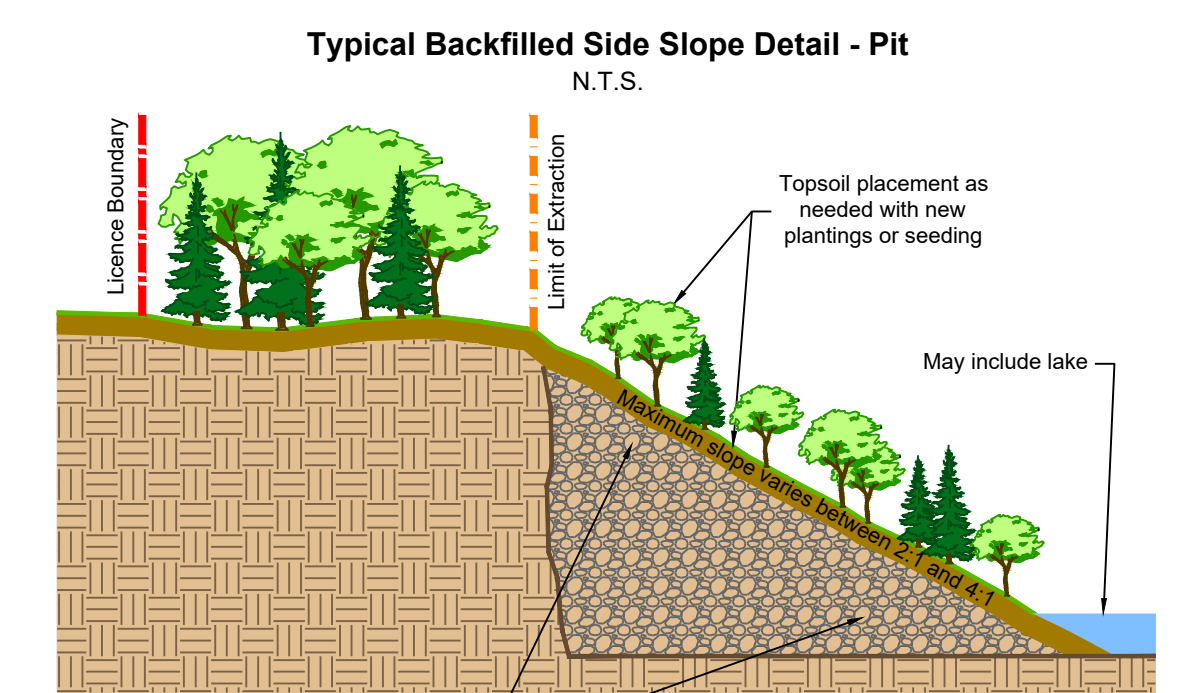
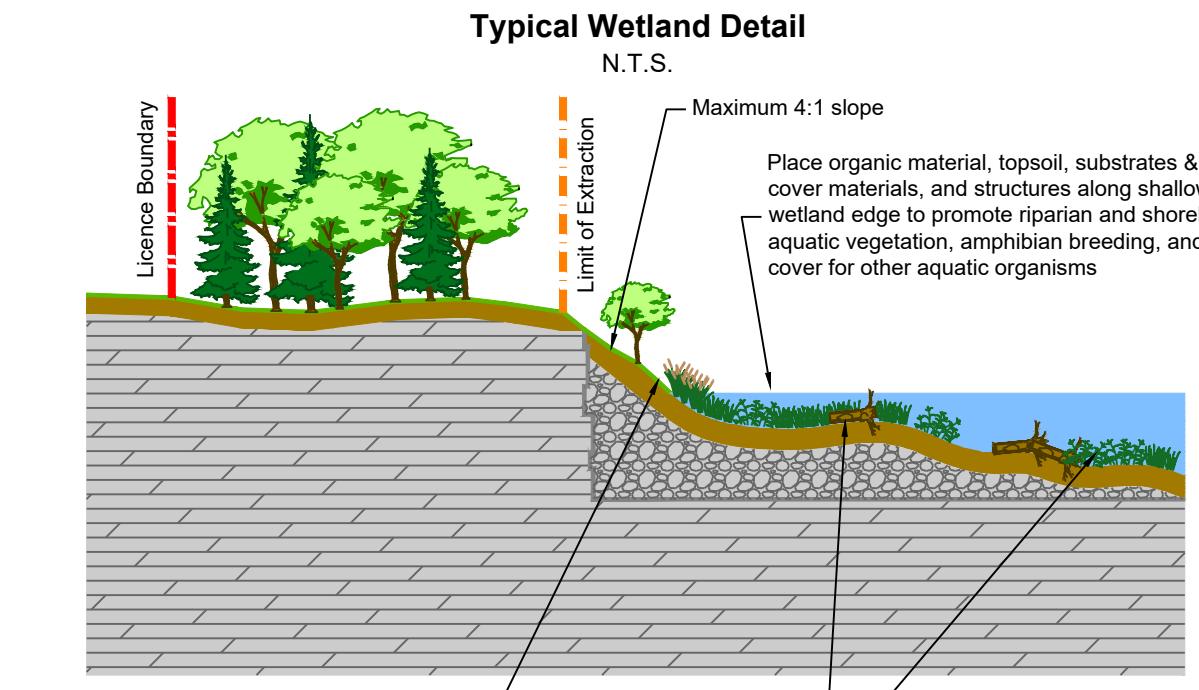
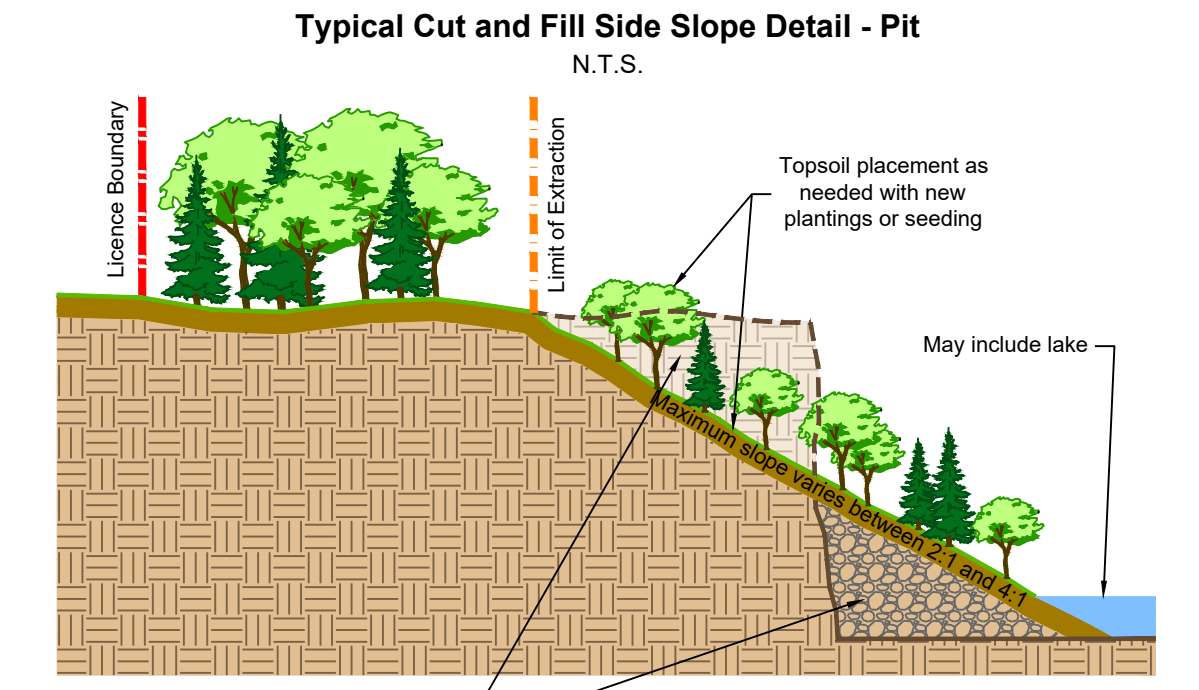
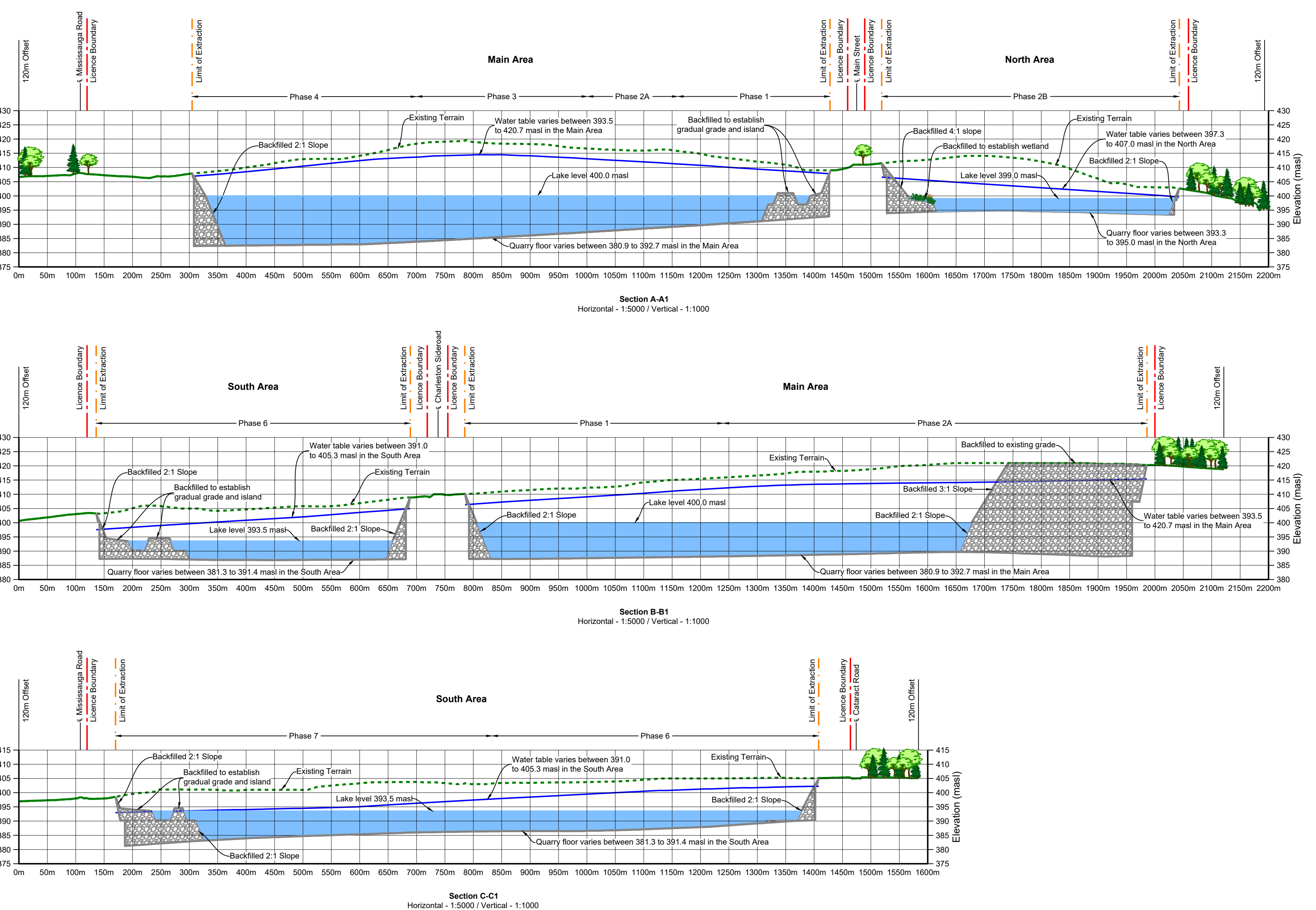
Site Plan Revisions (Pre-Licensing)
Table with columns: No., Date, Description, By.

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MHBC Stamp
Brian Zeman
Christopher Poole

Applicant
cbm CBM Aggregates a Division of St. Marys Cement Inc. (Canada)
VOTORANTIN Genetics

Project
Caledon Pit & Quarry
18722 Main Street, Caledon, Ontario
MNR Licence Reference No. 626600
Applicant's Signature
Plan Scale: 1:5000 (Arch E)
Date: August 2023 May 2025
File No. 8816AF



PROGRESSIVE REHABILITATION

- A. General**
 1. Area Calculations:

1.1. Licence (total)	261.2 hectares
Main Area	151.5 hectares
North Area	30.3 hectares
South Area	79.4 hectares
 - 1.2. Limit of Extraction (total)

129.6 hectares	
Main Area	125.6 hectares
North Area	16.8 hectares
South Area	59.9 hectares
 - 1.3. Final rehabilitation within licence (total)

261.2 hectares	
Gradual grade or island	7.8 hectares
Grassland	29.3 hectares
Lakes	157.0 hectares
Meadow	7.8 hectares
Wetland	1.6 hectares
Woodland	48.2 hectares
Existing conditions	14.2 hectares
- B. Phasing**
 1. An excavation reaches the limit of extraction or maximum depth, progressive rehabilitation shall commence. See note M.1 on drawing 2 of 4 for the maximum classified area requirement for rehabilitation of the site.
 2. Progressive rehabilitation shall follow the general direction and sequence of extraction identified on the plan view and described in the notes on drawing 2 of 4.
 3. Minor deviations in operational and rehabilitation sequence shall be permitted in order to adjust for any variable resource or market conditions.
 3. Each phase of extraction shall undergo progressive rehabilitation, prior to proceeding to the next phase of extraction.
 4. Progressive rehabilitation activities shall include sloping and grading, placement of overburden and topsoil, tree and shrub planting.
- C. Slopes and Grading**
 1. Progressive rehabilitation shall consist of backfilling the excavation faces (where appropriate), tunnels and quarry floors to establish the final elevations and grades depicted on the plan view of the drawing using topsoil and overburden available on-site. A portion of the extraction face in the southeast corner of Phases 5 and 7 (as shown on the plan view) shall remain vertical (see notes H3.5 and H11.7 on drawing 2 of 4 for additional information).
 2. Upon completion of extraction in Phase 7, the slurry wall adjacent to the infiltration trenches in the southeast and southwest corner of the South Area shall be excavated and backfilled with sand.
 3. Side sloping outside will range from 2:1 to 4:1 as well as gradual grades (see Section N Variations from Control and Operation Standards on drawing 4 of 4).
 4. No excess soil shall be imported on-site for rehabilitation purposes.
 5. Prior to the placement of subsoil and topsoil in locations where the quarry floor has been backfilled to establish gradual grades, islands and wetlands, the quarry floor shall be ripped and tilled to alleviate compaction, if required.
- D. Drainage**
 1. Final surface drainage will follow the rehabilitated contours and directional arrows shown on the plan view of the drawing.
 2. Once operations in the North Area, South Area and Main Area have been completed and the rehabilitated landscape has been established, pumping shall cease, and the bed allowed to flood and form the Main, North and South ponds. The Main, North and South pond water levels post-rehabilitation are predicted to reach a level of approximately -400, -399 and -393.5 masl, respectively.
 3. The South pond will be self-contained and not require an overflow outlet.
 4. The Main pond overflow shall be directed via a culvert under Main Street (as shown on the plan view of this drawing) to the North pond with its outlet invert at -400 masl.
 5. The North pond overflow shall be directed via main outlet to the Chesney Valley Golf Course integration pond system with its outlet invert at -399 masl.
 6. All rehabilitated pond levels and outlets will be passive and not require pumping.
- E. Natural Environment**
 1. Lake Shoreline - Main, North and South Area
 - 1.1. The shoreline of the lakes shall be contoured where possible to create convoluted or irregular shoreline gradients.
 - 1.2. Where sloping and excavation depths allow, shoals or islets shall be created to increase habitat diversity.
 - 1.3. Stumps and logs shall be placed along the shoreline as wildlife habitat structure. Boulders and rock rubble from the extraction shall also be used for wildlife habitat structure.
2. Woodland - Main Area
 - 2.1. The woodland in the Main Area, as shown on the plan view, shall be planted with tree species representative of the woodland communities that will be removed, such as high steeple, American beech, paper birch, white ash, white cedar, balsam fir, eastern hemlock, red maple, trembling aspen, black cherry, alternate-leaved dogwood, grey dogwood, red-osier dogwood.
 - 2.2. Trees shall be planted at approximately 2.5 m spacing to achieve a density of 1,600 seedlings per hectare. Two years after planting, the target density shall be 1,200 seedlings per hectare with a survival rate of 75%. Plantings shall be completed, if required, in year two after planting.
3. Habitat for eastern small-footed myotis and little brown myotis - Main Area
 - 3.1. Rock piles will be placed in the locations shown on the plan view to create habitat for eastern small-footed myotis. Rock piles shall vary in size and height between 0.5 m and 2 m. Coverages shall be created through stacking rocks of flat rock varying in size from several centimetres to one meter long.
 - 3.2. Bat boxes shall be installed in the same location as the rock piles to provide habitat for little brown myotis.

4. Setback areas / Slopes - Main, North and South Area
 - 4.1. All slopes located above the final water level shall be seeded with an appropriate native, non-invasive seed mix to prevent erosion during operations.
 - 4.2. Nodal plantings shall be expanded naturally through seed rain.
 - 4.3. Along the setback to significant Woodland B, as shown on drawing 1 of 4, plant species representative of the existing woodland, such as sugar maple (Acer saccharum), American beech (Fagus grandifolia), paper birch (Betula papyrifera), American elm (Ulmus americana), white cedar (Thuja occidentalis), balsam poplar (Populus balsamifera), white pine (Pinus strobus), red maple (Acer rubrum), trembling aspen (Populus tremuloides), black cherry (Prunus serotina), alternate-leaved dogwood (Cornus alternifolia), grey dogwood (Cornus rostrata), red-osier dogwood (Cornus sericea), shall be planted.
 - 4.4. Along the setback to significant Woodland D, as shown on drawing 1 of 4, plant species representative of the existing woodland, such as sugar maple (Acer saccharum), American beech (Fagus grandifolia), red oak (Quercus rubra), paper birch (Betula papyrifera), black walnut (Juglans nigra), American elm (Ulmus americana), alternate-leaved dogwood (Cornus alternifolia), shall be planted.
 - 4.5. On north-facing slopes and wetlands which are expected to be cooler and moister, plant species such as white cedar (Thuja occidentalis), white spruce (Picea glauca), Norway spruce (Picea abies), red maple (Acer rubrum), paper birch (Betula papyrifera), American beechwood (Thuja occidentalis), shall be planted.
 - 4.6. On the southwest-facing slopes and wetlands, plant species such as white pine (Pinus strobus), white cedar (Thuja occidentalis), white spruce (Picea glauca), European larch (Larix laricina), trembling aspen (Populus tremuloides), balsam poplar (Populus balsamifera), sugar maple (Acer saccharum), black cherry (Prunus serotina), red oak (Quercus rubra), bur oak (Quercus macrocarpa), shall be planted.
 - 4.7. Within the setback and slope areas shrubs shall also be planted to add diversity and increase wildlife/habitat diversity, such as secondary (Amelanchier spp.), nannyberry (Viburnum lentago), redbud (Physocarpus opulifolius), dogwood (Cornus spp.), highbush cranberry (Viburnum opulus), elderberry (Sambucus spp.), choke cherry (Prunus virginiana).
5. Shoreline Wetland - Main, North and South Area
 - 5.1. Organic material shall be placed in shallow water areas to promote the establishment of shoreline and aquatic vegetation and to create habitat for aquatic fauna and amphibians. Slumps and trees of non-commercial value shall be inoculated during clearing operations and used as habitat structure. Boulders and rock rubble from the extraction operation shall also be used to increase habitat diversity along the shoreline area.
 - 5.2. In the shoreline wetland areas, shallow emergent marsh vegetation shall be planted in the water with species that may consist of, but are not limited to: red-osier dogwood (Cornus sericea), slender willow (Salix pediculus), and herbaceous plants such as water plantain (Alisma plantago-aquatica), lake sedge (Carex lasiocarpa), swamp milkweed (Asclepias incarnata), softstem bulrush (Scirpus americanus), and common cattail (Typha latifolia).
6. Riparian Plantings - Main Area
 - 6.1. Riparian plantings along Tributary #1, as shown on drawing 2 of 4, shall include a variety of native species including, but not limited to, white cedar (Thuja occidentalis), balsam poplar (Populus balsamifera), grey willow (Salix discolor), slender willow (Salix pediculus), red-osier dogwood (Cornus sericea), nannyberry (Viburnum lentago), elderberry (Sambucus canadensis), meadowfoam (Sagina sp.), low Sphagnum (Sphagnum sp.), lake sedge (Carex lasiocarpa), fox sedge (Carex vaginifolia), blue vervain (Veronica hastata), and spike rush species (Eleocharis spp.).
7. Turtle Habitat - North Area
 - 7.1. Turtle habitat shall be created in the North Area in the location shown on the plan view.
 - 7.2. The turtle habitat pond shall include sediment on the pond bottom to provide a growing medium for plants, and provide habitat for turtles (e.g., overwintering).
 - 7.3. Plant emergent macrophytes shall include species such as pickereweed (Pontederis cordata), broad-leaved arrowhead (Sagittaria latifolia), water plantain species (Alisma spp.), cattail (Typha sp.), common arrowhead (Sagittaria latifolia), and greater water dock (Rumex crispus).
 - 7.4. Plant submergent macrophytes shall include species such as eelgrass (Zostera marina), broad waterweed (Elodea canadensis), slender reed (Phragmites australis), common hornwort (Ceratophyllum demersum).
 - 7.5. Basking features such as logs or rocks shall be placed throughout the shallow shoreline areas.
 - 7.6. Areas of suitable nesting substrate shall be constructed along or adjacent to the shoreline.
8. Meadow in North Area
 - 8.1. Meadow habitat for eastern meadowlark and bobolink shall be created in the North Area outside of the limit of extraction at the location shown on the plan view.
 - 8.2. A minimum of 60.0% of the meadow shall be covered by at least three different grass species, such as poverty oatgrass (Dactyloctenium aegyptium), common panic grass (Panicum capillare), big bluestem (Andropogon gerardii), Canada wild rye (Elymus canadensis), switch grass (Panicum virgatum), wood grass (Sorghum sp.), Virginia wild rye (Elymus virginicus).
 - 8.3. At least one of the grass species shall be taller than 50 cm, which shall include at least one of the following: bottlebrush grass (1.3 m), big bluestem (2.0 m), Canada wild rye (1.3 m), switch grass (1.3 m).
 - 8.4. Remaining 20.0% shall be covered by forbs or legumes such as Canada anemone (Anemone canadensis), black-eyed susan (Rudbeckia hirta), common evening primrose (Oenothera biennis), common milkweed (Asclepias syriaca), yarrow (Achillea millefolium), New England aster (Symphyotrichum novae-angliae), and wild bergamot (Monarda fistulosa).
 - 8.5. Meadow weed mixes shall be sown at a rate of 25kg/ha.

FINAL REHABILITATION

- A. General**
 1. All equipment and buildings/structures on the quarry floor shall be removed from the site. The buildings/structures located at 1420 Charleston Boulevard (located at the north end and quality control lab during operations) may remain on-site.
 2. No internal fire roads shall remain.
 3. The anticipated final use will be naturalized open spaces with the creation of lakes, vegetated shorelines, islands, vertical faces, wetlands, upland forested areas, riparian plantings adjacent to the existing watercourse, nodal shrub and tree planting on upland areas, grassland meadows and specialized habitat features for bats and turtles.
 4. The long term average lake levels are:
 - Main - 400.0 masl
 - North - 395.0 masl
 - South - 393.5 masl
 5. All plantings completed as part of rehabilitation will be audited two years after planting to assess planting survival rates and additional plantings shall be completed if required to create the habitat conditions as specified on this page.

- Site Plan Acronyms**
1. ARA - Aggregate Resources Act
 2. MECP - Ministry of the Environment, Conservation and Parks
 3. MGCS - Ministry of Government and Consumer Services
 4. DFO - Department of Fisheries and Oceans Canada
 5. MNRF - Ministry of Natural Resources and Forestry
 6. MCM - Ministry of Citizenship and Multiculturalism
 7. TSSA - Technical Standards and Safety Authority
 8. MTCS - Ministry of Tourism, Culture and Sport
 9. ECA - Environmental Compliance Approval
 10. BMPP - Best Management Practices Plan
 11. WWIS - Water Well Information System
 12. HIA - Heritage Impact Assessment
 13. CVC - Credit Valley Conservation
 14. MASL - Metres above Sea Level
 15. PTTW - Permit to Take Water
 16. NTS - Not to Scale

Site Plan Changes

The drawing revisions shown on this redline represent all of the changes that have been made since the August 2023 Aggregate Resource Act site plan.

Legal Description
 Part of Lots 15-1716, Concession 4 WSCR and Part of Lot 16, Concession 3 WSCR
 (former geographic Township of Caledon)
 Township of Caledon
 Regional Municipality of Peel

Legend

	Licence Boundary		Additional Land Owned by Licensee
	Limit of Extraction		120m Offset From Licence Boundary
	Contours with Elevation		Easement
	Watercourse (Perennial)		Pipeline (Energen Gas Inc.)
	Watercourse (Intermittent)		Main Discharge
	Water Feature		Secondary Discharge (Change in the surface water flow based on existing conditions)
	Wooded Area		Fence (1.2 m post & wire fence unless otherwise noted)
	Wetland (MNR Evaluated - Other)		Extraction Face (Below Water)
	Wetland (MNR Evaluated)		Public Road
	Gradual Grade / Island		Driveway
	Grassland		Railway
	Woodland		Gate
	Wetland		Building/Structure
	Lake		Proposed Floor Elevation (Metres above sea level (MASL))
	Meadow		Proposed Final Grade (Horizontal / Vertical)
	Rock Pile & Bat Box Locations (Approximate)		Cross Sections

Legend - Cross Sections

	Licence Boundary
	Limit of Extraction
	Existing Grade - Removed / Altered
	Existing Grade - Undisturbed
	Maximum Predicted Water Table
	Quarry Floor
	Backfilled
	Lake

Site Plan Amendments

No.	Date	Description	By

Site Plan Revisions (Pre-Licensing)

No.	Date	Description	By
4	May 2025	Update the site plan to address agency and public comments	C.P.
3	March 2025	Update the site plan to address agency and public comments	C.P.
2	August 2024	Updated the site plan to address the MNRF's comments from their letter dated January 11, 2024 and the Town of Caledon's comments from their letter dated November 12, 2022	C.P.
1	August 2023	Revised drawing to incorporate updated technical report recommendations	C.P.

MHBC
 PLANNING
 URBAN DESIGN
 & LANDSCAPE
 ARCHITECTURE
 113 COLLEGE STREET, BARRE, ON, LAM 1H2 | P: 705.728.0405 | F: 705.728.2010 | WWW.MHBCAN.COM

MHBC Stamp
 Brian Zeman
 Is authorized by the Ministry of Northern Development, Economic and Forestry pursuant to Subsection 0.2(3)(f) of Ontario Regulation 244/97 to prepare and certify site plans.

MHBC Stamp
 Christopher Poole
 Is authorized by the Ministry of Northern Development, Economic and Forestry pursuant to Subsection 0.2(3)(f) of Ontario Regulation 244/97 to prepare and certify site plans.

Applicant

cbm
 CBM Aggregates a Division of St. Marys Cement Inc. (Canada)
 55 Industrial Street
 Toronto, Ontario
 M4G 3W9

VOTORANTIM
 Geotechnics

Project
Caledon Pit & Quarry
 18722 Main Street, Caledon, Ontario

MNRF Licence Reference No.
 626600

Applicant's Signature

Plan Scale: 1:5000 (Arch E)

Date
 August 2023 May 2025

Drawn By
 C.P. File No. 8816AF

Checked By
 B.Z.

File Name
Rehabilitation Plan

Drawing No.
4 of 4

File Path
 N:\bin\8816AF - CBM - Caledon Quarry\Drawings\Site Plan\CAD\8816AF - Site Plan.dwg

Appendix B:

Assessor Qualifications



Assessor Qualifications

Heidy Schopf, MES, CAHP – Built and Landscape Heritage Team–Lead - Heidy Schopf the Built and Landscape Heritage Team Lead at WSP. She has over ten years' experience in Cultural Resource Management. She is a professional member of the **Canadian Association of Heritage Professionals (CAHP)** and is **MTO RAQs certified** in archaeology/heritage. She has worked on a wide variety of projects throughout Ontario, including: cultural heritage resources assessments, heritage impact assessments, documentation reports, cultural heritage evaluations, strategic conservation plans, heritage conservation district studies and plans and archaeological assessments. Ms. Schopf has extensive experience applying local, Provincial, and Federal heritage guidelines and regulations to evaluate protected and potential cultural heritage properties. She is skilled at carrying out impact assessments and developing mitigation measures to conserve the heritage attributes of properties where changes are proposed.

Henry Cary, Ph.D., CAHP, RPA - Senior Cultural Heritage Specialist - Dr. Henry Cary has over 20 years of public and private-sector experience directing archaeological and cultural heritage projects in urban, rural, Arctic and Sub-Arctic environments in Canada as well as the Republic of South Africa, Italy, and France. His career has included positions as project archaeologist and cultural resource management specialist for Parks Canada's Fort Henry National Historic Site Conservation Program and Western Arctic Field Unit, Heritage Manager for the Town of Lunenburg UNESCO World Heritage Site, and senior-level archaeologist and cultural heritage specialist for CH2M and Golder Associates. He currently holds a **Professional Archaeology Licence (P327)** issued by the Ontario MCM, is MTO RAQs certified in Archaeology/Heritage and is a member of the **Canadian Association of Heritage Professionals (CAHP)** and **Register of Professional Archaeologists (RPA)**. His education includes a B.A. in Prehistoric Archaeology and Anthropology from Wilfrid Laurier University, a MA in Historical Archaeology from Memorial University, and a Ph.D. in War Studies from the Royal Military College of Canada. Henry is also an Adjunct Professor of Anthropology at Saint Mary's University and over the past five years has taught archaeology courses in the Anthropology, Classics, and Visual & Material Culture departments at Mount Allison University.

Johanna Kelly, M.Sc. – Cultural Heritage Specialist- Ms. Kelly has worked in the field of Cultural Resource Management since 2007. She is skilled in the identification and evaluation of built heritage resources and cultural heritage landscapes and mitigation of proposed impacts on heritage resources. She has worked on a wide variety of projects throughout Ontario, including cultural heritage resources assessments, heritage impact assessments, cultural heritage evaluations, documentation reports, strategic conservation plans, heritage conservation district studies and plans, and archaeological assessments. Ms. Kelly has extensive experience applying local, Provincial, and Federal heritage guidelines and regulations to evaluate protected and potential cultural heritage properties. Ms. Kelly has completed cultural heritage projects under a variety of processes, including: the *Environmental Assessment Act*, *Planning Act*, *Ontario Heritage Act*, and the *Transit Project Assessment Process*. Ms. Kelly holds a **Professional Archaeological License (P1017)** issued by the Ministry of Citizenship and Multiculturalism.

Robert Pinchin, B.A. Hons, CAHP Intern - Cultural Heritage Technician - Mr. Pinchin holds an Honours, B.A. Degree in Canadian History from McMaster University and is currently working towards a Post-Graduate Certificate in Geographic Information Systems from Toronto Metropolitan University. Mr. Pinchin has experience working in cultural heritage preservation and conducting heritage assessments in a wide range of projects. He has experience conducting Environmental Assessments and authoring Cultural Heritage Resource Assessments, Archaeological Assessments, Heritage Impact Assessments, and Cultural Heritage Evaluation Reports. Mr. Pinchin has experience with conducting cultural heritage work for public and private clients in support of infrastructure development, oil and gas projects, utility upgrades, residential development, and more. Mr. Pinchin has experience interpreting and applying municipal, provincial, and federal legislation within the heritage context. He is an **intern member of the Canadian Association of Heritage Professionals (CAHP)**. Mr. Pinchin has experience as an archaeologist during which he conducted stage 1-4 archaeological assessments, identified, and catalogued artifacts, and worked with GIS technologies to map units and site boundaries. In these endeavours Mr. Pinchin has worked closely with First Nation community members across the country in order to develop heritage framework in a comprehensive and compassionate manner.

Appendix C:

Limitations



Limitations

- 1** The work performed in the preparation of this report and the conclusions presented are subject to the following:
 - a** The Standard Terms and Conditions which form a part of our Professional Services Contract;
 - b** The Scope of Services;
 - c** Time and Budgetary limitations as described in our Contract; and
 - d** The Limitations stated herein.
- 2** No other warranties or representations, either expressed or implied, are made as to the professional services provided under the terms of our Contract, or the conclusions presented.
- 3** The conclusions presented in this report were based, in part, on visual observations of the Site and attendant structures. Our conclusions cannot and are not extended to include those portions of the Site or structures, which are not reasonably available, in WSP's opinion, for direct observation.
- 4** The environmental conditions at the Site were assessed, within the limitations set out above, having due regard for applicable environmental regulations as of the date of the inspection. A review of compliance by past owners or occupants of the Site with any applicable local, provincial or federal bylaws, orders-in-council, legislative enactments and regulations was not performed.
- 5** The Site history research included obtaining information from third parties and employees or agents of the owner. No attempt has been made to verify the accuracy of any information provided, unless specifically noted in our report.
- 6** Where testing was performed, it was carried out in accordance with the terms of our contract providing for testing. Other substances, or different quantities of substances testing for, may be present on-site and may be revealed by different or other testing not provided for in our contract.
- 7** Because of the limitations referred to above, different environmental conditions from those stated in our report may exist. Should such different conditions be encountered, WSP must be notified in order that it may determine if modifications to the conclusions in the report are necessary.
- 8** The utilization of WSP's services during the implementation of any remedial measures will allow WSP to observe compliance with the conclusions and recommendations contained in the report. WSP's involvement will also allow for changes to be made as necessary to suit field conditions as they are encountered.
- 9** This report is for the sole use of the party to whom it is addressed unless expressly stated otherwise in the report or contract. Any use which any third party makes of the report, in whole or the part, or any reliance thereon or decisions made based on any information or conclusions in the report is the sole responsibility of such third party. WSP accepts no responsibility whatsoever for damages or loss of any nature or kind suffered by any such third party as a result of actions taken or not taken or decisions made in reliance on the report or anything set out therein.
- 10** This report is not to be given over to any third party for any purpose whatsoever without the written permission of WSP.
- 11** Provided that the report is still reliable, and less than 12 months old, WSP will issue a third-party reliance letter to parties that the client identifies in writing, upon payment of the then current fee for such letters. All third parties relying on WSP's report, by such reliance agree to be bound by our proposal and WSP's standard reliance letter. WSP's standard reliance letter indicates that in no event shall WSP be liable for any damages, howsoever arising, relating to third-party reliance on WSP's report. No reliance by any party is permitted without such agreement.

Appendix D: Summary of Responses to Town Comments





(CBM-Caledon Quarry Proposal)

HERITAGE COMMENT SUMMARY TABLE RESPONSE

18501 MISSISSAUGA ROAD

Colour Code	Description
	Resolved
	Resolved subject to additional information being provided to Town Reviewers (e.g. Implementation Guide, Report Addendums)
(no colour)	Response provided, but no further action taken or required by Project Team

All HIAs

	Town Comment No.	Initial Town Heritage Comments (March 18, 2025)	Page / Section	Applicant Response (September 18, 2025)	Town Response (December 21, 2025)	Applicant Response (Date)	Town Response (Date)	Applicant Response
Report: Comments for ALL HIAs			Author: WSP					
1.	3.	The Town is in agreement regarding the following principal conservation measures being proposed for the five properties within the subject lands identified as having cultural heritage resources: ii. 18501 Mississauga Road: 1. relocation of farmhouse within the subject lands to front onto Mississauga Road; 2. salvage and commemoration of outbuildings and mature vegetation. 3. Designation under Part IV of the OHA	Heritage Comments Doc	Acknowledged. Note that designation under Part IV of the OHA will be applied to a portion of the property as defined by the agreed upon R Plan.	Accepted			
2.	4.	Further to receipt of the HIAs and pursuant to the recommendations, the Town issued Notices of Intention to Designate the following four properties: i. 18667 Mississauga Road ii. 18501 Mississauga Road iii. 1420 Charleston Sideroad iv. 18722 Main Street	Heritage Comments Doc	Acknowledged	Accepted			
3.	5.	The Town has subsequently entered into a Heritage Designation By-law Extension Agreement with the Owner for each of these properties to continue conservation strategies and extend timing for passing of the designation by-laws.	Heritage Comments Doc	Acknowledged	Accepted			

Town Comment No.	Initial Town Heritage Comments (March 18, 2025)	Page / Section	Applicant Response (September 18, 2025)	Town Response (December 21, 2025)	Applicant Response (Date)	Town Response (Date)	Applicant Response	
Report: Comments for ALL HIAs		Author: WSP						
4.	6.	The Town has been meeting regularly with GSAI and the applicant's heritage consultants regarding implementation processes and timelines for the proposed heritage conservation measures. Among other things, these meetings have identified the need for preparation of reference plans and Heritage Easement Agreements for the four properties to be designated, and Heritage Permits for implementation of the Heritage Conservation Plan work and building relocations.	Heritage Comments Doc	Note that reference to these discussions has been included in the updated HIA.	Accepted			
5.	7.	A draft Heritage Easement Agreement (HEA) template, prepared by the Town, is under review by the applicant's legal team . It is anticipated that the HEAs will be entered into upon completion of the reference plans.	Heritage Comments Doc	Acknowledged	Accepted			
6.	8.	Please revise the five HIAs based on the comments below and on the attached PDFs	General	Updated as discussed below	Accepted			
7.	9.	Identify the proposed extraction phase in which each Study Area is located, as it is understood that the phasing will affect timing of implementation of conservation recommendations.	Appendix A	The May 2025 site plan has been added to the reports as an appendix. Short-, medium-, and long-term conservation strategies are discussed in the associated forthcoming HCPs	Accepted			
8.	10.	<p>Figures:</p> <ul style="list-style-type: none"> • Revise list of figures in Indexes, as not all are included (typically missing Figs 10-12) • Figure numbers and titles are hard to find/read (especially Fig 2 onwards). Please revise figure layout to place the figure number and title closer together and make them more prominent. • Figure 1 – on legend, revise 'Limit of Extraction' to 'Proposed Limit of Extraction' as the aggregate application is not yet approved • Figure 3 – revise title to '1859 Tremaine Map of the County of Peel' • Figure 4 – revise title to '1877 Historical Atlas of Peel County' • Figure 5 – revise title to '1937 Topographic Map' and include source • Figure 7 – revise title to '1954 Aerial Photograph' and include source • Figure 8 – revise title to '1973 Topographic Map' and include source • Figure 9 – revise title to '1994 Topographic Map' and include source o revise additional figures in similar fashion where necessary • Add Figures using selections from the 1980s-1990s aerial photographs provided by the Town. The site information provided in these aerial photographs is pertinent to revisions requested in the HIAs regarding dating of some site structures. 	Figures	<p>Table of contents in all reports have been updated to ensure all figures are captured.</p> <p>Figure frames are standard for the project and are being used across disciplines.</p> <p>Sources for maps and photographs are included in the bibliography as well as in text. As such, figure titles have been left unchanged.</p> <p>Photos provided from the 1980s and 1990s have been added to the reports where applicable.</p> <p>Site Plan has been added to the reports as an appendix.</p>	Accepted			

Town Comment No.	Initial Town Heritage Comments (March 18, 2025)	Page / Section	Applicant Response (September 18, 2025)	Town Response (December 21, 2025)	Applicant Response (Date)	Town Response (Date)	Applicant Response	
Report: Comments for ALL HIAs		Author: WSP						
	<ul style="list-style-type: none"> • Add Figure showing proposed extraction phasing plan to help illustrate timing of anticipated impacts to the individual Study Areas. 							
9.	11. Section 2.1 Regulatory Requirements: add reference to Aggregate Resources Act requirements for cultural heritage assessments, as had been identified in section 3.2.1 of the Cultural Heritage Report.	Section 2.1.1	Updated	Accepted				
10.	12. Section 2.1.1 Provincial Policy Statement: update to PPS 2024	Section 2.1.2	Updated	Accepted				
11.	13. Section 2.1.2 OHA: update to reflect more recent OHA amendments regarding Bill 23 and Bill 200	Section 2.2.3	Updated	Accepted				
12.	14. Section 2.1.4 Town of Caledon Official Plan: add reference to Future Caledon Official Plan policies where appropriate as this new OP was approved by Council in May 2024 and approval by the Province is expected imminently.	Section 2.1.5	Future Caledon was adopted by Caledon Council in March 2024 and has not yet been approved by MMAH. Since the Planning Act Applications were submitted in Dec 2022, the Future Caledon Official Plan is not	Accepted				
13.	15. Section 2.3 Background Research: at end of first paragraph, revise 1858 date to 1859 to reflect correct date of Tremaine's Map of the County of Peel.	Section 2.3	Updated	Accepted				
14.	16. Section 2.6 Cultural Heritage Evaluation: review and revise the last sentence regarding the section of the report in which the results are provided, as every report identifies the incorrect section.	Section 2.6	Updated	Accepted				
15.	17. Table 2: revise title to include 'Aerial Photographs' and revise table to include selected 1980s90s air photos.	Table 2	Updated where applicable.	Accepted				
16.	18. See editorial comments made in the following sections of the 18667 Mississauga Road report that are common to these sections in all of the HIA reports: <ul style="list-style-type: none"> a. Section 2.8 Mitigation Measures b. Section 3.1 Physiography c. Section 3.2 Indigenous Land Use d. Section 3.3.2 Town of Caledon and Former Township of Caledon e. Section 4.2.1 Location Context 	See relevant sections listed in column 1	Updated	Accepted				

Town Comment No.	Initial Town Heritage Comments (March 18, 2025)	Page / Section	Applicant Response (September 18, 2025)	Town Response (December 21, 2025)	Applicant Response (Date)	Town Response (Date)	Applicant Response	
Report: Comments for ALL HIAs		Author: WSP						
17.	19. Section 4.2.3: review description of the orientation of the farmhouses for consistency. All HIAs note the orientation will be described as north-south 'for ease of description', which makes sense, however this is then applied differently. For 18501 Mississauga, 1055 Charleston and 1420 Charleston north-south is aligned with the concession roads (i.e. Mississauga Rd), whereas for 18667 Mississauga and 18722 Main Street it is aligned with the sideroad (Charleston).	Section 4.2.3	This is defined for each property and not meant to be defined across reports	Accepted				
18.	20. Section 5.2.4 summary statement that the study areas 'do not meet criteria for consideration as CHLs' is not substantiated by any CHL evaluation, apart from an earlier statement that these properties were not identified in the Town's CHL Inventory. The Town's CHL Inventory report acknowledges that the inventory was done at a high level and speaks to additional potential CHLs being identified through further evaluation of individual properties or areas; farmsteads are often described in CHERs as CHLs.	Section 5.2.4	The evaluation of the Study Area under 9/06 included an evaluation for consideration of a CHL. The evaluation found that the criteria for a CHL were not met.	Accepted				
19.	21. Table 6: Indirect Impact re change in land use: Town disagrees with 'no impact' conclusion since the proposed land use requires rezoning and will result in a clear change in land use. Table 3 of the CHR also concludes that isolation is anticipated for the subject properties.	Table 6	Updated to reflect impacts from change in land use	Accepted				
20.	22. Further to comment 2b) above, provide explanation for 50 metre no-go buffer as being an appropriate protection distance for cultural resources for construction activities related to blasting quarry.	Section 8	Updated	Accepted				
21.	23. Further to comment 2e) above, provide explanation of a blast impact assessment prior to inclusion of this measure in Section 8. a. What is it, who undertakes it, timing and frequency of testing over duration of operation, monitoring, requirement for results to be shared with Town etc.	Section 8	This information is contained in the Blast Impact Assessment for the project. Updated to direct readers to this report.	Accepted				
22.	24. Provide explanation of a vibration monitoring plan prior to inclusion of this measure in Section 8. a. What is it, who undertakes it, timing and frequency of testing over duration of operation, how are outcomes communicated/recorded, monitoring, requirement for results to be shared with Town etc. b. Further to comment 2c) above, explain/substantiate appropriateness of 60 m zone for vibration monitoring noted in Cultural Heritage Report	Section 8	a) This information is provided by the vibration specialist and reports have been updated to direct to the Blast Impact Assessment b) As referenced in the Cultural Heritage Report, 60 m was established in Carmen et al 2012 as an appropriate buffer for heritage structures. This has been refined to 50 m in the HIA's based on the experience of WSP's vibration specialists	Accepted				

Town Comment No.	Initial Town Heritage Comments (March 18, 2025)	Page / Section	Applicant Response (September 18, 2025)	Town Response (December 21, 2025)	Applicant Response (Date)	Town Response (Date)	Applicant Response	
Report: Comments for ALL HIAs		Author: WSP						
23.	25. Further to comment d) above, address fugitive dust impacts noted in Cultural Heritage Report and identify potential mitigation measures for 18667 Mississauga Road, 18501 Mississauga Road, 1420 Charleston Sideroad, 18722 Main Street.	Section 8	This information is contained in the Air Quality Impact Assessment and associated management and monitoring plans for the project. Updated to direct readers to this report.	Accepted				
24.	26. Update/reorganize Section 8 to reflect outcomes of the on-going discussion between the Town and the applicant regarding status/timing of conservation measures and individual comments made on attached PDFs: a. Status of designation process under Part IV of the OHA for 18667 Mississauga Road, 18501 Mississauga Road, 1420 Charleston Sideroad, 18722 Main Street and when to be completed. b. Preparation of reference plans for above-noted properties denoting property boundaries to which the designation by-laws will apply and relocation sites. c. Requirement for Heritage Easement Agreements to be registered on title for the abovenoted properties until: i. relocations completed ii. properties inhabited iii. designation by-laws passed d. Heritage Conservation Plans for above-noted properties shall be completed in accordance with scope of work approved by the Town. e. Acknowledgement that relocation of farmhouses at 18501 and 18667 Mississauga Road shall not occur until aggregate license and planning approvals are in place. f. Requirement of Heritage Permits for implementation of approved Heritage Conservation Plans, relocation of buildings, salvage/dismantling of outbuildings.	Section 8	Updated	Accepted				
25.	27. Provide all photographs of the cultural heritage resources to the Town in digital format.	General	Updated	Accepted				
26.	28. The statements of cultural heritage value and interest and list of heritage attributes will require some minor revisions, as noted, prior to passing of the designation by-laws.	Section 5	Noted however there is no requirement for the proposed SCHVI and list of attributes in the designation by-laws to match exactly with the proposed SCHVI and list of attributes in consultant reports.	Accepted				

18501 Mississauga Road HIA

	Town Comment No,	Initial Town Heritage Comments (March 18, 2025)	Page / Section	Applicant Response (September 18, 2025)	Town Response (December 21, 2025)	Applicant Response (Date)	Town Response (Date)	Applicant Response
Report: 18501 Mississauga Road			Author: WSP					
1.	32.	See comments on marked-up PDF copy of HIA, attached.	General	Updated where applicable.	Accepted			
2.	32.	push title to next page to link with actual table	14/3.4.1	Updated	Accepted			
3.	32.	review this section for consistency in use of 'Concession' vs 'Con'.	15/3.4.1	Updated	Accepted			
4.	32.	when was Study Area acquired by St. Mary's/CBM?	15/3.4.1	Updated	Accepted			
5.	32.	add Peel Archives reference from 1833 Colonial Advocate re Cameron being on Lot 16 by 1833, with a house.	15/3.4.1	Updated	Accepted			
6.	32.	FYI, Region of Peel Archives has separated from PAMA, so should update these PAMA references throughout	15/3.4.1	As PAMA's website still indicates that the Region of Peel Archives at PAMA is the official archives of the Region of Peel and its constituent municipalities of Mississauga, Brampton and Caledon., and as this report was researched/written in 2023, we've added a footnote at first mention nothing this separation	Accepted			
7.	32.	spelling	16/3.4.1	Updated	Accepted			
8.	32.	clarify location of Orangeville and suggestion that they had moved off the farm.	16/3.4.1	Updated	Accepted			
9.	32.	replace with 'family'	16/3.4.1	Updated	Accepted			
10.	32.	1. there' no figure in report with 2004 air photo 2. revise Table to indicate the addition is visible in 1985 air photo; add figure with this air photo	17/3.4.2	Added photos from 1985, 1989, 1996, and 1999. Table revised accordingly	Accepted			
11.	32.	revise Table 1 descriptions with 1985, 1989 and 1996 air photo information showing house addition, silos , new outbuildings	17/3.4.3	Updated	Accepted			
12.	32.	No 2004 imagery included in figures. Windbreak tree row evident in 1996 air photo	27/4.2.2	Added photos from 1985, 1989, 1996, and 1999. Table revised accordingly	Accepted			
13.	32.	clarify that farmhouse is oriented toward concession road, yet at an interesting angle rather than perpendicular to it, as is more common.	31/4.2.3	Added this observation and comment to the	Accepted			

Town Comment No,	Initial Town Heritage Comments (March 18, 2025)	Page / Section	Applicant Response (September 18, 2025)	Town Response (December 21, 2025)	Applicant Response (Date)	Town Response (Date)	Applicant Response
Report: 18501 Mississauga Road			Author: WSP				
			interpretation section (s. 4.2.5)				
14.	32.	if south elevation faces Charleston, then north elevation would be the side, not rear	31/4.2.3	Updated	Accepted		
15.	32.	to create a salt box profile	34/4.2.3.1	Updated	Accepted		
16.	32.	shed-roofed, one storey	34/4.2.3.1	Updated	Accepted		
17.	32.	clarify that the shed dormer was added to the rear gable of the main block (lighting the upstairs bathroom), not the one storey rear entryway addition (Plate 8).	34/4.2.3.1	Updated	Accepted		
18.	32.	and of a different configuration (square vs rectangular)	34/4.2.3.1	Updated	Accepted		
19.	32.	perhaps 'modern' rather than 'new'? consider this change throughout report.	34/4.2.3.1	Updated	Accepted		
20.	32.	insert 'which'; could also note main storey windows are larger than upper storey	34/4.2.3.1	Updated	Accepted		
21.	32.	? This is the original front entrance	34/4.2.3.1	Updated	Accepted		
22.	32.	repeat of Plate 11.	35/4.2.3.1	Updated	Accepted		
23.	32.	these are typically referred to as sidelights	37/4.2.3.2	Updated	Accepted		
24.	32.	depth?	37/4.2.3.2	Updated	Accepted		
25.	32.	is there a doorway or is it open?	38/4.2.3.2	Updated	Accepted		
26.	32.	is there a photo of the basement door?	38/4.2.3.2	Updated	Accepted		
27.	32.	insert 'side'	39/4.2.3.2	Updated	Accepted		
28.	32.	spelling	39/4.2.3.2	Updated	Accepted		
29.	32.	explain it is lit by the shed dormer	39/4.2.3.2	Updated	Accepted		
30.	32.	delete 'frames'	39/4.2.3.2	Updated	Accepted		
31.	32.	Insert 'Looking west along ...'	39/4.2.3.2	Updated	Accepted		
32.	32.	consider re-ordering the paragraph to start with early 20C origins of shed-roofed porch with low stone wall, later enclosed as rear entryway.	42/4.2.3.3	Updated	Accepted		

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Report: 18501 Mississauga Road		Author: WSP					
	Also, review description of shed dormer, as it appears to be on gable of main block not entryway addition.						
33.	32. vinyl	42/4.2.3.3	Updated	Accepted			
34.	32. insert 'north half of original...'	43/4.2.3.4	Updated	Accepted			
35.	32. insert 'outbuilding'	44/4.2.4	Updated	Accepted			
36.	32. replace building with farm	44/4.2.4	Updated	Accepted			
37.	32. 1. identify Barn 1 as a Central Ontario style bank barn with earth ramp on east elevation (Plate 51) 2. describe orientation	44/4.2.4	Updated	Accepted			
38.	32. orientation? shape? heavy timber framing?	45/4.2.4	Updated	Accepted			
39.	32. clarify these are in the concrete foundation level	45/4.2.4	Updated	Accepted			
40.	32. important to clarify as vertical wood plank siding	45/4.2.4	Updated	Accepted			
41.	32. if in use, why did safety concerns prevent access?	45/4.2.4	Updated	Accepted			
42.	32. timber frame construction or dimensional lumber?	45/4.2.4	Updated	Accepted			
43.	32. check presence of outbuildings against 1980s-90s air photos	45/4.2.4	Updated	Accepted			
44.	32. how is this substantiated?	48/4.2.5	Updated	Accepted			
45.	32. pre-1985 per the air photos	48/4.2.5	Updated	Accepted			
46.	32. ONE of the barns at 18667....	49/4.2.5	Updated	Accepted			
47.	32. replace with farm complex	49/4.3.1.1	Updated	Accepted			
48.	32. update with May 2023 site visit info	50/4.3.1.1	Updated	Accepted			
49.	32. vinyl	50/4.3.1.1	Updated	Accepted			
50.	32. clarify as stone	50/4.3.1.1	Updated	Accepted			
51.	32. describe upper floor doors.	50/4.3.1.1	Updated	Accepted			

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Report: 18501 Mississauga Road			Author: WSP					
52.	32.	note that majority of window openings and frames are original. would this fact influence survival %?	51/4.3.1.3	Updated	Accepted			
53.	32.	and wooden window trim	51/4.3.1.3	Updated	Accepted			
54.	32.	window trim appears to be original.	51/4.3.1.3	Updated	Accepted			
55.	32.	longevity of ownership by Camerons relates to agricultural history theme of the area	54/5.2.3	For Criterion 4 to be met, the property must meet two tests. First, the association is direct, and second, it is significant to the community. This means that the theme, event, belief, person, activity, organization, or institution has made a strong, noticeable, or influential contribution to the evolution or pattern of a settlement and development in the community. Background research did not demonstrate an association that meets both tests. Updated wording in this section to clarify this.	Accepted			
56.	32.	1420. Check for similar error elsewhere.	54/5.2.3	Updated	Accepted			
57.	32.	no CHL evaluation provided to substantiate comment.	55/5.2.4	Removed this statement	Accepted			
58.	32.	review section numbering. 5.4, 5.5 and 5.6 should be 5.3.1, 5.3.2 and 5.3.3 for consistency with other HIAs	55/5.3	Updated	Accepted			
59.	32.	gable roof type	55/5.4	Updated	Accepted			
60.	32.	spelling	55/5.5	Updated	Accepted			
61.	32.	18501	55/5.5	Updated	Accepted			
62.	32.	note may be refined in designation by-law following HCP and site visits.	56/5.6	Updated	Accepted			
63.	32.	add interior plank doors and hardware compare to Staff list	56/5.6	Interior finishes are limited and varied, it's possible that some are not original. The HCP will provide guidance	Accepted			

Town Comment No,	Initial Town Heritage Comments (March 18, 2025)	Page / Section	Applicant Response (September 18, 2025)	Town Response (December 21, 2025)	Applicant Response (Date)	Town Response (Date)	Applicant Response
Report: 18501 Mississauga Road			Author: WSP				
			on restoring and rehabilitating interior components that represent original designs or early evolutions as appropriate. Public NOID and staff report have been reviewed. If there is another staff list to review, please provide.				
64.	32. does not address vegetation	58/6.2	Updated	Accepted			
65.	32. disagree. land use change will result from ARA/planning application.	58/6.2	Updated	Accepted			
66.	32. not acknowledged in 9/06 evaluation	62/7.4	Updated	Accepted			
67.	32. insert 'outbuilding and'	62/7.4	Updated	Accepted			
68.	32. see comments for 18667 Mississauga Road HIA	65/8	Comments applicable to 18501 copied below	Accepted			
69.	32. update schedule into short, medium and long term measures to reflect: 1. timing of relocation only after ARA licence approval 2. HEA; purpose and timing; in place until designation bylaw passed and house inhabited 3. preparation of reference plan, structural condition report as part of HCP, heritage permit etc. - ie all steps necessary for relocation. 6. designation process, extension agreements, by-law timing 7. clarify schedule, implementation and monitoring of blast and vibration monitoring plans	65/8	This has been produced for the HCP and will be provided in that report. The HIA also acknowledges the preparation of the R-Plan and timing of designation.	Accepted			
70.	32. update timelines based on current understanding of conservation measures	65/8	This has been produced for the HCP and will be provided in that report. The HIA also acknowledges high-level timing for the conservation of the heritage attributes of the property.	Accepted			
71.	32. reflect that relocation must occur prior to start of extraction activities	65/8	Updated	Accepted			
72.	32. clarify for inclusion on all construction drawings	65/8	Updated	Accepted			
73.	32. if during operations, then this is not a short term measure.	65/8	Updated	Accepted			

Town Comment No,	Initial Town Heritage Comments (March 18, 2025)	Page / Section	Applicant Response (September 18, 2025)	Town Response (December 21, 2025)	Applicant Response (Date)	Town Response (Date)	Applicant Response
Report: 18501 Mississauga Road		Author: WSP					
74.	32. update to Town term 'Documentation Report and Salvage Plan'	65/8	Updated	Accepted			
75.	32. also note to be continued at relocation site.	65/8	Updated	Accepted			
76.	32. identify reference plan, proposed relocation site,	65/8	Updated	Accepted			
77.	32. update designation status and finalization timing	65/8	Updated.	Accepted			
78.	32. Additional information provided by the Town: a. Region of Peel Archives records noting Cameron being on Lot 16 Con 4 WHS in 1833 and involved with Reform Party: File Box: Politics – General Historical Write-ups of Peel Politics 1792-1837; Folio 15, page 7 i. Colonial Advocate December 14, 1833, page 7 1. public meeting held at house of Mr. Cameron, Lot 16 Concession 4 WHS, Caledon Township 2. respectable body of Presbyterians 3. resolution of meeting: to approve the measures taken and opinions advocated by William Lyon McKenzie and the Reform Party of the House of Assembly 4. Alexander Clunes, President, and Daniel McDonald, Secretary, 5. Dated November 23, 1833.	Heritage Comments Doc	Updated to include additional archival information provided around mention of a house on the lot in 1833	Accepted			
79.	32. Include any May 2023 site visit photos, if summer conditions revealed further structural details	Heritage Comments Doc	May 2023 photos are included in the report where appropriate	Accepted			
80.	32. Provide sketch of floor plans to assist in understanding interior descriptions	Heritage Comments Doc	This has been produced for the HCP and will be provided in that report	Accepted			

	Town Comment No.	Town Heritage Comments (December 21, 2025)	Page / Section	Applicant Response (February 23, 2026)	Town Response (Date)	Applicant Response (Date)	Town Response (Date)	Applicant Response
1.	4.	The Town appreciates the inclusion of a comment response matrix as an appendix to each updated HIA.	n/a	Acknowledged				
2.	5.	It is noted that following submission of the updated HIAs CBM advised Heritage staff that a further addendum to them may be required to ensure language within the reports is suitable to Ministry of Natural Resource governance through the Aggregate Resources Act process.	n/a	Acknowledged				
3.	7.	The Town's comments applicable to all HIAs have been satisfactorily addressed in the updated HIAs.	n/a	Acknowledged				
4.	9.	18501 Mississauga Road: All comments have been satisfactorily addressed.	n/a	Acknowledged				

Appendix E: Draft Reference Plan



SUBJECT TO AN EASEMENT AS DESCRIBED IN INSTRUMENT CA22622

LOT 17, CONCESSION 4, W.H.S.

SEE DETAIL

LOT 16, CONCESSION 4, W.H.S.

ORIGINAL ROAD ALLOWANCE BETWEEN CONCESSIONS 4 AND 5, W.H.S.
(KNOWN AS MISSISSAUGA ROAD)

ORIGINAL ROAD ALLOWANCE BETWEEN CONCESSIONS 4 AND 5, W.H.S.
(KNOWN AS MISSISSAUGA ROAD)

ROAD ALLOWANCE BETWEEN LOTS 15 AND 16, CONCESSION 4 W.H.S.
(KNOWN AS CHARLESTON SIDEROAD/REGIONAL ROAD 24)
(TRANSFERRED BY ORDER-IN-COUNCIL R01180167)
P.I.N. 14273-0564(LT)

INSTRUMENT CA24799
(MTO FILE P-2981-9)

I REQUIRE THIS PLAN TO BE DEPOSITED UNDER THE LAND TITLES ACT

PLAN 43R- DRAFT

RECEIVED AND DEPOSITED

DATE _____ DATE _____

DRAFT

JANSKY T C LAU
Ontario Land Surveyor

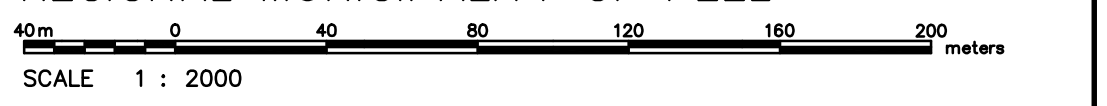
REPRESENTATIVE FOR LAND REGISTRAR FOR THE LAND TITLES DIVISION OF PEEL (No.43)

METRIC DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

SCHEDULE				
PART	PART OF LOT	CONCESSION	PIN	AREA(m ²)
1				70986
2	16	4 WHS	PART OF 14273-0092(LT)	7268
3				434
4				345

PART 3 - SUBJECT TO AN EASEMENT AS DESCRIBED IN INSTRUMENT CA22621

PLAN OF SURVEY OF
PART OF LOT 16
CONCESSION 4
WEST OF HURONTARIO STREET
(GEOGRAPHIC TOWNSHIP OF CALEDON)
TOWN OF CALEDON
REGIONAL MUNICIPALITY OF PEEL



- LEGEND**
- DENOTES SURVEY MONUMENT FOUND
 - DENOTES SURVEY MONUMENT SET
 - B DENOTES BURIED
 - IB DENOTES IRON BAR
 - SIB DENOTES STANDARD IRON BAR
 - SSIB DENOTES SHORT STANDARD IRON BAR
 - WT DENOTES WITNESS
 - 1155 DENOTES VAN HARTEN SURVEYING LTD., O.L.S.
 - 1574 DENOTES DELPH & JENKINS NORTH LTD., O.L.S.
 - 1575 DENOTES J.R. FINNIE, O.L.S.
 - P1 DENOTES PLAN 43R-17782
 - P2 DENOTES PLAN 43R-16517
 - P3 DENOTES PLAN 43R-39683
 - D1 DENOTES INSTRUMENT No. CA22621
 - WHS DENOTES WEST OF HURONTARIO STREET
 - EF DENOTES ELECTRIC FENCE
 - PWF DENOTES POST & WIRE FENCE

NOTE

PROPERTY LINES ARE UNFENCED UNLESS OTHERWISE NOTED.

BEARINGS SHOWN HEREON ARE UTM GRID BEARINGS AND ARE DERIVED FROM OBSERVED REFERENCE POINTS ① AND ② BY REAL TIME CANNET NETWORK OBSERVATIONS AND REFERRED TO THE 6° UTM COORDINATE SYSTEM, ZONE 17, CENTRAL MERIDIAN 81° WEST LONGITUDE (NAD 83, CSRS 2010).

DISTANCES SHOWN ON THIS PLAN ARE ADJUSTED GROUND LEVEL DISTANCES, AND CAN BE CONVERTED TO GRID DISTANCES BY MULTIPLYING THE DISTANCE BY COMBINED SCALE FACTOR 0.9996158.

FOR BEARINGS COMPARISONS, THE FOLLOWING ROTATION WAS APPLIED.
P1,P2 - 0°38'20" COUNTER CLOCKWISE

THE COORDINATES SHOWN ON THIS PLAN, IN THEMSELVES, CANNOT BE USED TO RE-ESTABLISH THE CORNERS OR BOUNDARIES SHOWN ON THIS PLAN.

COORDINATES SHOWN ON THIS PLAN ARE IN COMPLIANCE WITH THE SURVEYORS ACT, URBAN ACCURACY PER O.REG. 216/10, SECTION 14(2).

OBSERVED REFERENCE POINTS UTM(NAD83, CSRS 2010)		
PLAN COORDINATES	NORTHING	EASTING
1	4852461.176	577251.500
2	4852884.746	576828.216

SURVEYOR'S CERTIFICATE

I CERTIFY THAT:

- THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT, THE LAND TITLES ACT, AND THE REGULATIONS MADE UNDER THEM.
- THE SURVEY WAS COMPLETED ON THE 22ND DAY OF JANUARY, 2025

DRAFT

DATE _____ JANSKY T C LAU -ONTARIO LAND SURVEYOR

THIS PLAN OF SURVEY RELATES TO AOLS PLAN SUBMISSION FORM NUMBER V

<p>Delph & Jenkins North Ltd. Ontario Land Surveyors 220 Industrial Parkway S., Unit 6, Aurora, Ontario L4G 3V6 www.djsurveyors.com Info@djsurveyors.com Tel. 905-841-8526</p>	22213-10	
	DRAWN : JL	CHECKED : GKJ